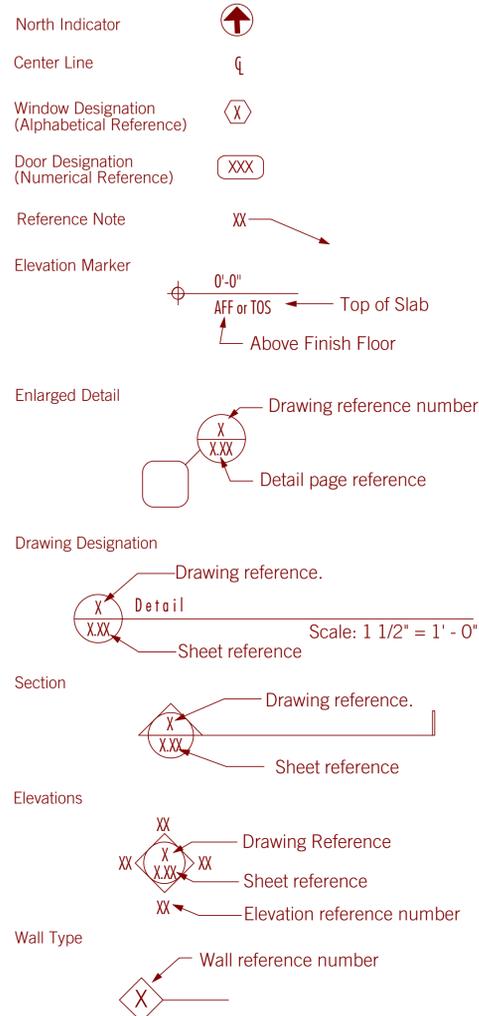


General Notes

- All standards for construction, materials, and execution of the work shall conform to the City of New Orleans, Department of Safety and Permits requirements and all applicable local and national codes.
- Contractor to carefully review all building components and systems to familiarize themselves with the scope and the required coordination of the required work for a complete single family residence with pool and pool equipment and all associated site work.
- Contractor and major subcontractors are to familiarize themselves with the construction site and verify existing conditions, site grades, and locations of all utilities prior to commencing construction. Verify all conditions and dimensions at job site prior to commencing work so as to avoid any extra costs during construction. All deviation or changes necessary to achieve the installations shown shall be called to the attention of the Architect or owner prior to submitting final price.
- Any request for consideration by the Architect of substitutions of specified materials or products called for or shown on the drawings or in the specifications, shall be submitted to the Architect in writing for a written approval by the Architect, shall be received at the Architect's office ten (10) business days prior to the specified bid date. Any bid based upon or containing an unapproved product or material substitution may be disallowed.
- Where the phrase "or equal" or "as approved by the Architect" occurs in the Contract Documents, do not assume that materials, products or equipment will be approved as equal unless the item has been specifically approved in writing for this work by the Architect. The decision of the Architect shall be final in relation to substitutions.
- Contractor shall at all times keep premises free from accumulation of demolition debris, waste materials or rubbish caused by his operation and shall remove no less than weekly all debris from and about the project. All waste shall be separated by type of material for recycling.
- Contractor shall install and provide all safety barriers during construction as necessary to protect the public from injury and access to the building or adjacent floors.
- When any part of this structure is open to the exterior, protect interior from wind, storm, rain, and vandalism. Provide temporary security or otherwise close off remainder of construction while demolition is proceeding until permanent new construction is in place.
- Contractor to provide temporary shoring until all framing is secured.
- Recesses for electrical panels, fire extinguisher cabinets, annunciator boxes, etc., located in rated partitions shall be faced with drywall to create a five sided enclosure as required to retain rating of wall.
- All walls and floor openings shall be firestopped with an approved non-combustible material mechanically fastened in place to provide an effective and approved fire stop. Opening in slabs and partitions for conduit, piping and other items shall be filled with an approved non-combustible material to provide an approved seal to prohibit the passage of fire or smoke.
- No work shall be concealed until approved by local inspectors.
- Provide semi-recessed hand operated fire extinguishers in accordance with NFPA 10. Contractor to provide layout.
- Contractor to provide shop drawings of the following systems for coordination and approval prior to installation:
 - cabinets and counters
 - guardrails and handrails
 - tile and stone installation
- The Contractor and subcontractors are to familiarize themselves with the following abbreviations and the standard abbreviations which are used in this set of drawings:
 - F.O.F. - Face of Finish
 - F.O.S.H. - Face of Sheathing
 - F.O.S. - Face of Stud
 - F.O.E. - Face of Existing
 - F.O.C. - Face of Concrete (Masonry)
 - A.F.F. - Above Finished Floor
 - N.T.S. - Not to Scale
 - R.O. - Rough Opening
 - M.O. - Masonry Opening
 - U.O.N. - Unless Otherwise Noted
 - T.O.S. - Top of Steel
 - T.O.F.F. - Top of Finish Floor
 - A.B.F.E. - Above Base Flood Elevation
- Contractor shall be responsible for coordinating of all mechanical equipment and appliances with recommended electrical connections, wiring, and circuiting.
- Contractor to verify all Owners telephone, data, cable connections and wireless connections and requirements prior to closing in the walls.
- Provide blocking for all surface mounted, semi-recessed or recessed items such as accessories, grab-bars, closet rods and shelves, drapery rod, shower curtain rods, countertops, etc.
- Unless otherwise noted or detailed all pipe chase walls are to be constructed of 6" studs. Provide cross braces as required. Hold chase walls to minimum dimensions. Vertical piping located within the stud space of partitions shall be completely enclosed with full thickness of drywall on each side of stud.
- Perimeter dimensions are to be from face of stud or grid line to face of studs, face of CMU unless otherwise noted.
- Do not scale drawings. If dimensions are in question the Contractor shall be responsible for obtaining clarification from the Architect prior to continuing construction of area in question.
- Dimensions, alignments, details and floor plan dimensions shown on these documents are based upon an assumed manufacturer's standard details. If a manufacturer is substituted and/or "approved as equal" by the Architect as specified in the "bidding requirements"; then it will be the responsibility of the General Contractor to re-coordinate the dimensional and detail requirements of the substituted manufacturer to the requirements of this project and/or to engage the Architect to revise and re-coordinate the contract documents as may be required.
- Construction of all vertical openings (shafts) shall be in accordance with all code requirements. Shafts that do not extend to the top or bottom of the building shall be enclosed at the highest and / or lowest level of the shaft with two hour fire resistant construction.
- All subcontractors to seal all penetrations, seams, openings through rated walls and/or floor-ceiling assemblies with fire rated sealant and/or intumescent pipe wraps. Intumescent pipe wraps to be used at all pvc piping that penetrate rated assemblies.
- Seal all penetrations through all partitions.
- All wall and floor assemblies must meet the requirements of the U.L. Assembly System

Graphic Symbols



Scope of Work

ARCHITECTURAL

The project consists of new construction for a commercial property for the Preservation Resource Center. The project will pursue LEED Platinum certification, and shall be utilized as a showcase and teaching tool for the community regarding sustainable building and living practices. The project program consists of a community meeting center, private offices, a kitchen, and a storage space upstairs.

The building construction will be wood frame on raised piers with an exterior rainscreen and wood siding. Paperless gypsum board and wainscoting will clad the interior rooms as per the partition details. All MEP systems shall meet or exceed all minimum code requirements will be designed for maximized energy efficiency per sustainable standards.

Because the project is located in a Hurricane vulnerable area, passive survivability strategies will be included to provide the ability for the building to maintain critical life-support conditions in the event of prolonged energy and water service loss. Such strategies shall include natural ventilation, efficient building envelope design, solar water heating systems, and onsite water collection.

The area adjacent to the new building shall contain a "ghosted frame" structure that will dual as a relic for properties previously located on the site as well as a shaded area for outdoor gatherings and markets. The area directly beneath the structure shall consist of preserved ceramic tiles from the previous facility. Two parking spaces and an ADA accessible ramp will be located at the rear and side of the site, respectively.

MECHANICAL

Installation of new HVAC system including ducts and registers as indicated on mechanical drawings.

ELECTRICAL

Installation of miscellaneous outlets, switches and fixtures as indicated on plans and electrical drawings.

PLUMBING

Installation of new plumbing fixtures, hot and cold water lines and waste water lines as indicated on plumbing drawings.

Project Data

PROJECT LOCATION:

Holy Cross Local Historic District
5200 Dauphine Street
New Orleans, Louisiana 70117

Distances from Property Lines:
Dauphine Street: 0'-0"
Lizardi Street: 0'-0"
Egania Street: 28'-5"
Royal Street: 20'-0"

SQUARE FOOTAGES:

First Floor: 2,129 s.f.
Second Floor, including loft: 656 s.f.
Total Building Area: 2,785 s.f.
Porch Area: 400 s.f.
Total Site: 5,600 s.f.

ZONING + CODES:

RD-3 Two Family Residential District
Occupancy: Assembly (A-3) + Storage (S)
Conditional Use: Community Center
Height Limit: 40 feet
Building Stories: Two Stories
Parking Provided: 2 off-street parking spaces
Sprinklers Required: No
Type of Construction: V-B
City Fire Limits: Inner Fire Limits

International Building Code - 2012 Edition
NFPA 101 Life Safety Code - 2012 Edition
Americans With Disabilities Act - Accessibility Guidelines
ICC/ANSI A117
UL Fire Resistance Directory
LEED 2009 Reference Guide for Building Design and Construction

Statement

These plans and specifications have been prepared under my close personal supervision and to the best of my knowledge and belief they comply with all local and state requirements.

I will be observing the work.

Wayne Troyer, A.I.A.
LA # 3915

Project Directory

OWNER
Preservation Resource Center
1400 Camp Street
New Orleans, LA 70130
p 504.654.1088
f 504.654.1086
Contact: Pam Bryan
Director of Operation Comeback

STRUCTURAL
Avegno, Bailey, & Associates, Inc.
2916 Robert Street
New Orleans, LA 70125
p 504.895.6691
f 504.895.6693
Contact: Michael R. Bailey, P.E., SECB

ARCHITECT
StudioWTA
1119 Tchoupitoulas Street
New Orleans, Louisiana 70130
p 504.593.9074
f 504.593.9073
Contact: Wayne Troyer - Principal

LANDSCAPE ARCHITECT
Spackman Mossop + Michaels
7735 Maple Street
New Orleans, LA 70118
p 504.218.8991
Contact: Elizabeth Mossop

MECHANICAL, ELECTRICAL, PLUMBING
Damen W. Serauskas, P.E.
15 Cypress Point Lane
New Orleans, LA 70131
p 504.866.2600
f 504.218.8480
Contact: Damien W. Serauskas - Mechanical + Plumbing Engineer

Creighton Engineering
2517 Metairie Court
Metairie, LA 70002
Contact: Bruce P. Creighton - Electrical Engineer

Drawing Index

ARCHITECTURAL

Sheet	Description
A0.00	GENERAL INFORMATION
L4	DECK DETAILS
A1.01	FIRST FLOOR PLAN SECOND FLOOR + ROOF PLANS
A2.01	ELEVATIONS
A4.01	INTERIOR ELEVATIONS
A4.02	INTERIOR ELEVATIONS
A5.03	STAIR DETAILS
A6.01	DOOR TYPE / SCHEDULE
A6.02	PARTITION SCHEDULE + RATED FLOOR DETAIL

MECHANICAL

Sheet	Description
M1.00-	MECHANICAL LEGEND AND SCHEDULES
M1.01-	1ST FLOOR HVAC PLANS
M1.02-	2ND FLOOR HVAC PLANS
M2.00-	MECHANICAL DETAILS

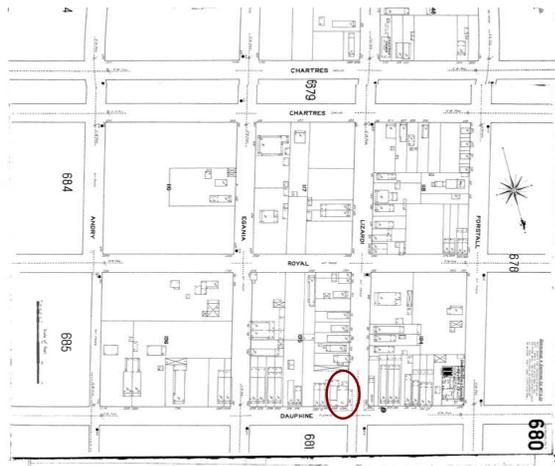
ELECTRICAL

Sheet	Description
E1.01-	FIRST FLOOR ELECTRICAL PLANS
E1.02-	SECOND FLOOR ELECTRICAL PLANS
E2.01-	FIRST FLOOR ELECTRICAL PLANS
E3.00-	ELECTRICAL MISC.

PLUMBING

Sheet	Description
P1.01	FIRST FLOOR PLUMBING PLAN
P2.00	PLUMBING SCHEDULE + DETAILS

Historic Sanborn Map 1909

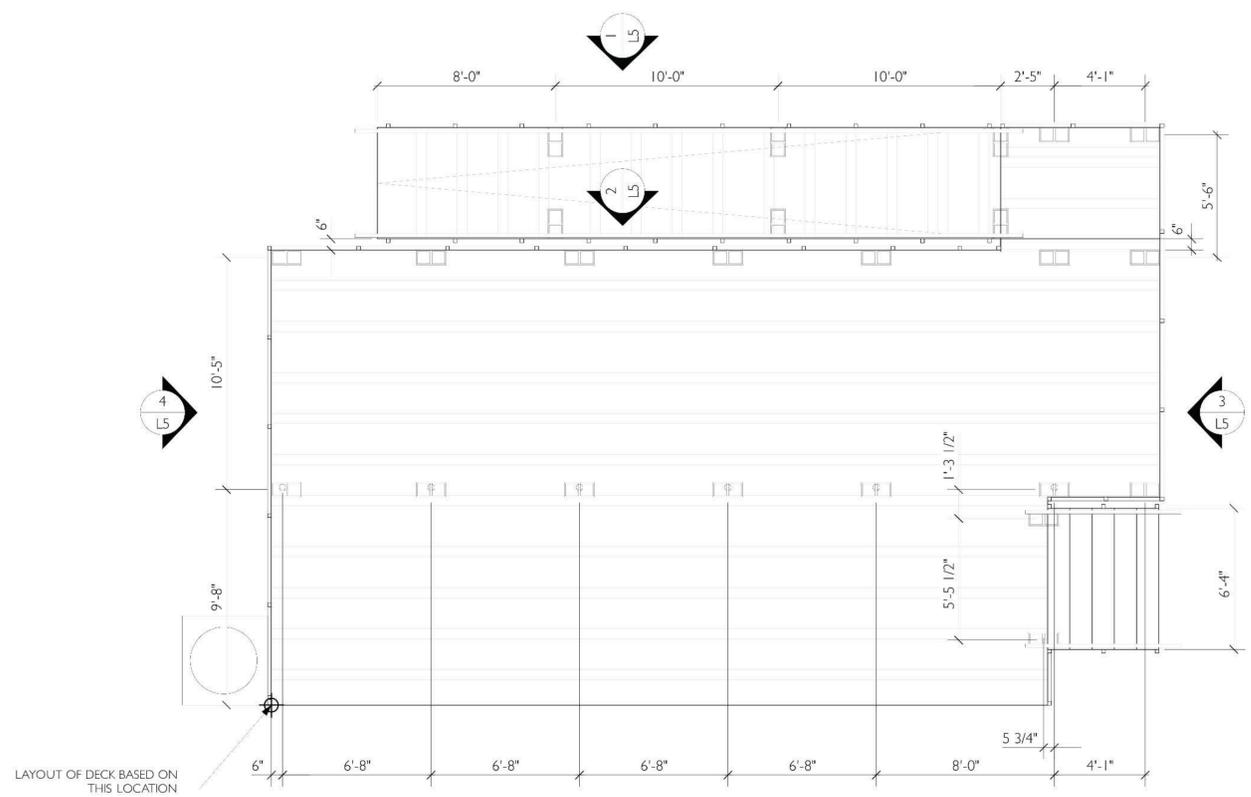


Satellite Image 2009

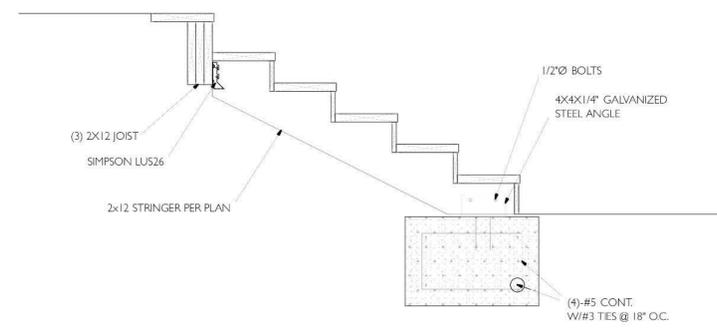


Site Images

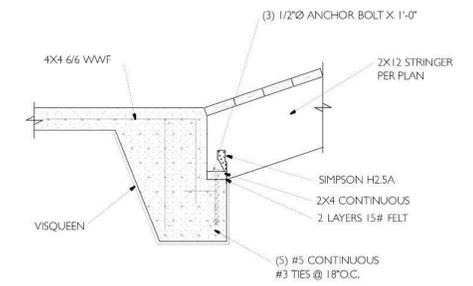




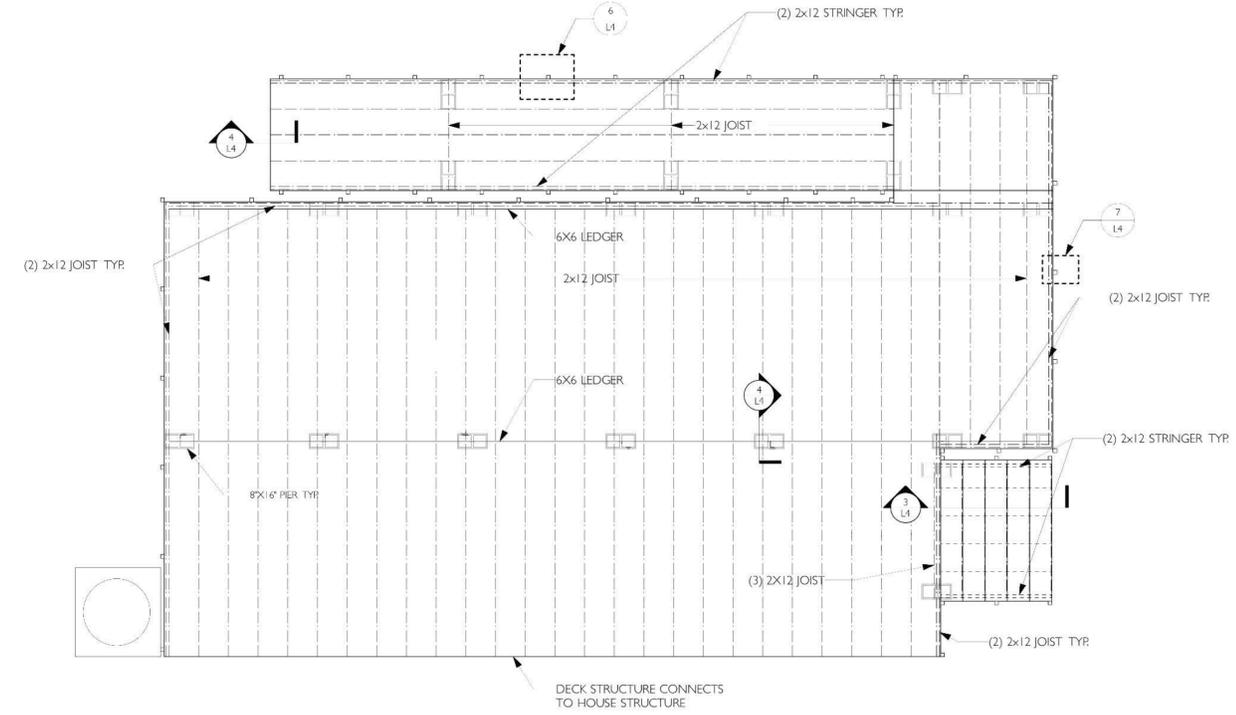
1 DECK LAYOUT PLAN
L4 1/4" = 1'-0"



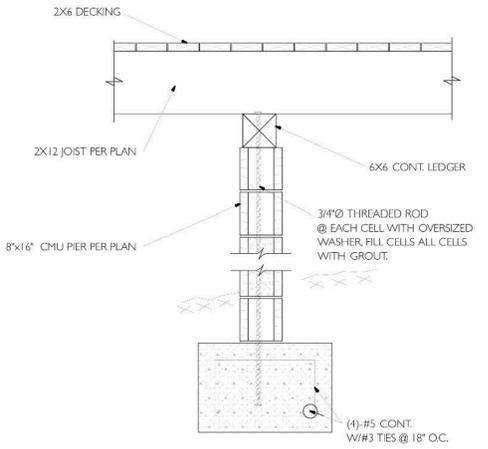
3 STAIR DETAIL
L4 3/4" = 1'-0"



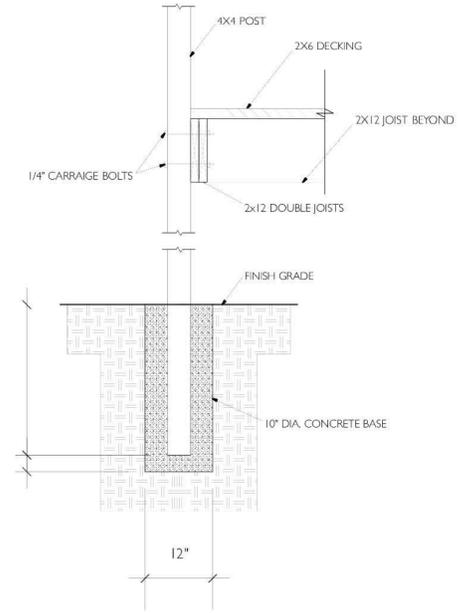
4 RAMP DETAIL
L4 3/4" = 1'-0"



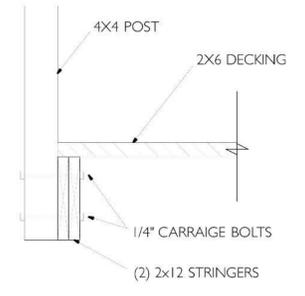
2 DECK FRAMING PLAN
L4 1/4" = 1'-0"



5 PIER DETAIL
L4 3/4" = 1'-0"



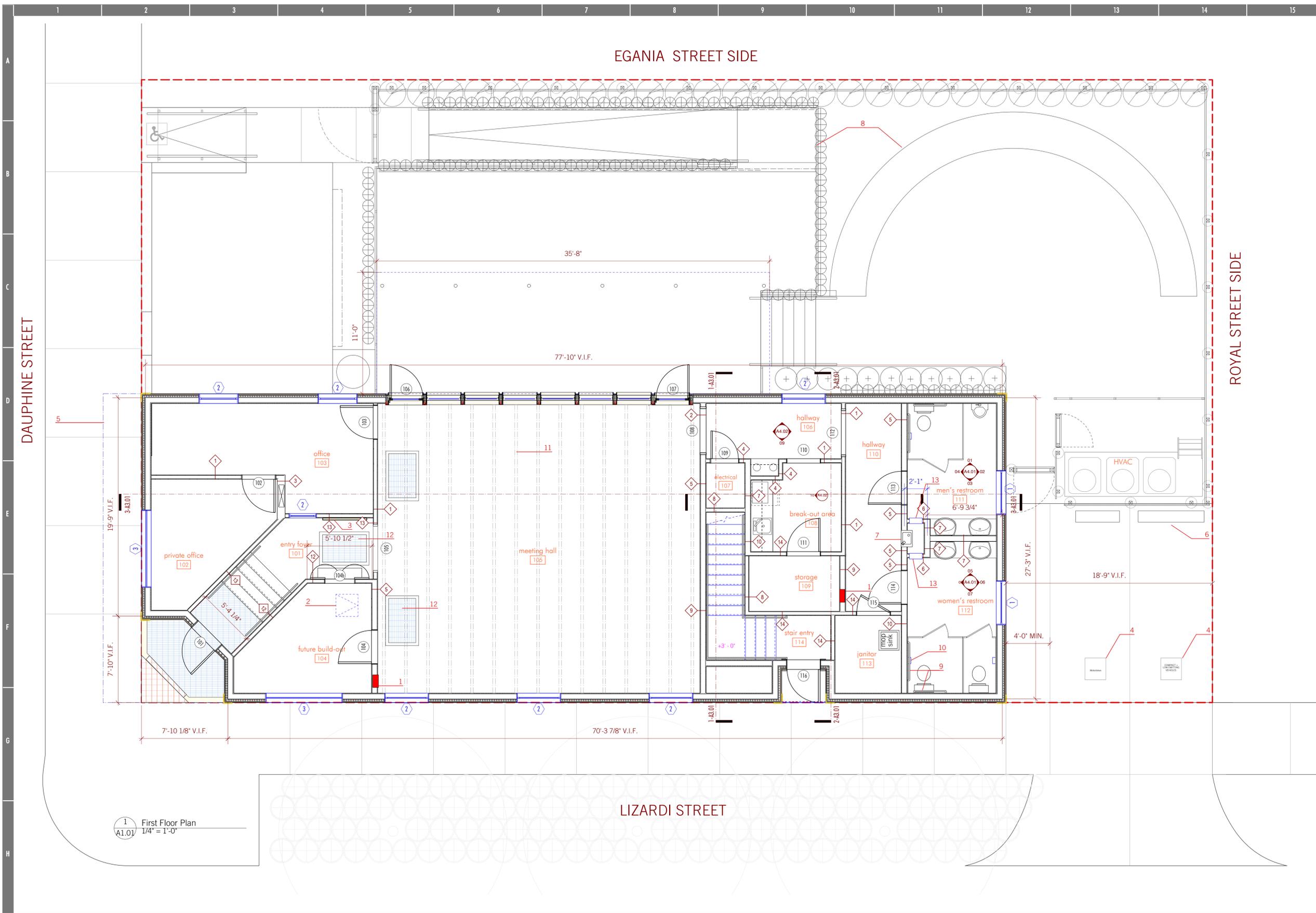
7 FENCE POST DETAIL
L4 3/4" = 1'-0"



6 RAMP POST DETAIL
L4 1" = 1'-0"



Revisions:	Issue Purpose:	Date:
	Permit Set	October 1, 2009
	HOLC - Revisions	October 13, 2009



EGANIA STREET SIDE

ROYAL STREET SIDE

DAUPHINE STREET

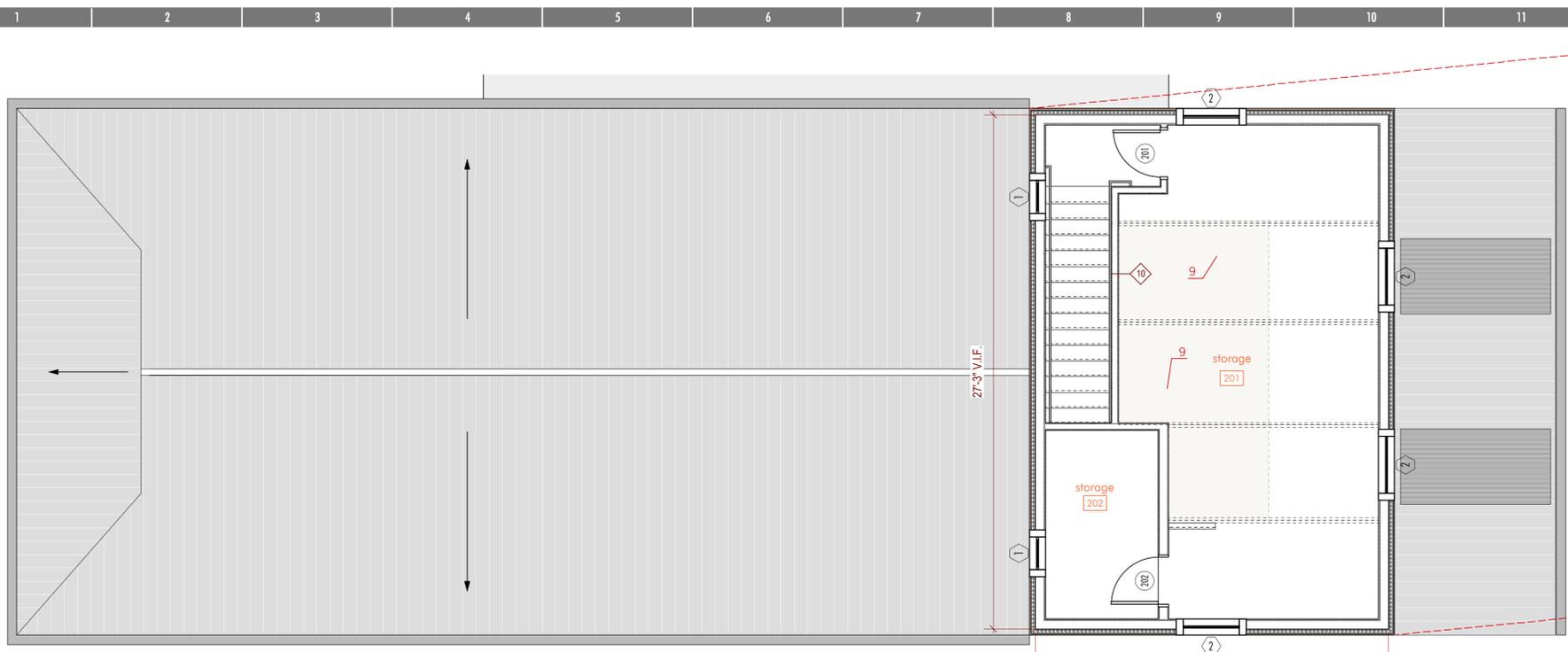
LIZARDI STREET

- GENERAL NOTES**
- A. KEYNOTES ARE SHEET SPECIFIC. THEY ARE NOT APPLICABLE FROM SHEET TO SHEET.
 - B. INTERIOR WALL DIMENSIONS ARE FROM CL OF STUD TO CL OF STUD UNLESS OTHERWISE NOTED. ALL EXISTING DIMENSIONS TO BE VERIFIED IN FIELD. COORDINATE ANY DISCREPANCY W/ ARCHITECT
 - C. CONTRACTOR SHALL PROVIDE "NO-SMOKING" SIGNAGE ACCORDING TO LEED REQUIREMENTS. COORDINATE LOCATION AND DESIGN W/ ARCHITECT
 - D. CONTRACTOR SHALL PROVIDE SIGNAGE FOR OCCUPANT LOAD LIMITS. COORDINATE LOCATION AND DESIGN W/ ARCHITECT
 - E. MAINTAIN 2" PLUS THICKNESS OF THE TRIM AT ALL DOORS AND WINDOWS THAT ARE DIRECTLY ADJACENT TO A WALL OR CORNER.
 - F. ALL WINDOWS TO RECEIVE WINDOW TREATMENT. SEE SPECIFICATIONS
 - G. CONTRACTOR SHOULD CONFORM TO ALL LEED REQUIREMENTS AND STANDARDS, AS WELL AS REQUIREMENTS ESTABLISHED IN THE CONSTRUCTION WASTE DEMOLITION WASTE MANAGEMENT PLAN, EROSION AND SEDIMENTATION CONTROL PLAN, AND SURFACE WATER MANAGEMENT PLAN, EACH SUBMITTED TO THE ARCHITECT FOR APPROVAL PER THE SPECIFICATIONS
 - H. PROTECT ALL FINISHES AND IF DAMAGED, REPAIR TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER

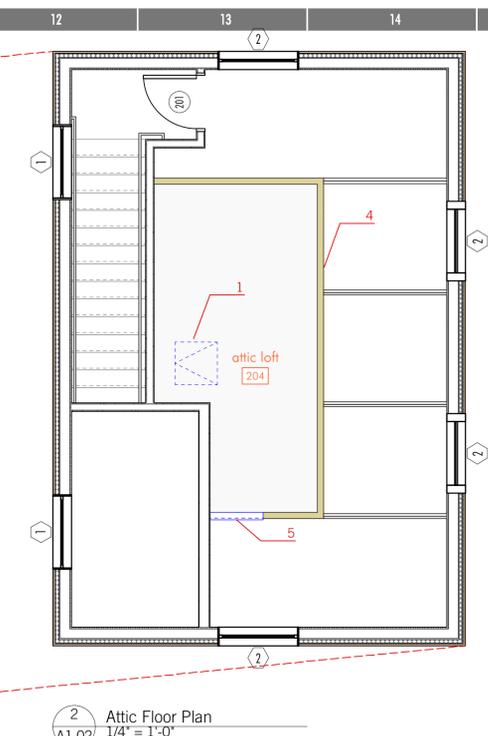
- KEYNOTES**
- 1. 1 HR. RATED RECESSED STAINLESS STEEL FIRE EXTINGUISHER CABINET W/ CLASS A OR ABC PORTABLE FIRE EXTINGUISHER. FIRE EXTINGUISHERS SHALL BE LOCATED A MAXIMUM OF 75 FEET APART. EXTINGUISHER SHALL BE MOUNTED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NO MORE THAN 5 FEET ABOVE THE FLOOR. CABINETS LOCATED IN 1 HOUR RATED WALL ASSEMBLIES SHALL BE 1 HOUR LISTED. SEE SPECIFICATIONS
 - 2. 24" X 24" ACCESS PANEL PER MECHANICAL, N.I.C.
 - 3. COMMUNITY BULLETIN BOARD. OWNER PROVIDED AND INSTALLED. PROVIDE BLOCKING AS REQUIRED.
 - 4. CONTRACTOR TO PROVIDE STRIPPING AND LEAD PARKING SIGNAGE. COORDINATE WITH ARCHITECT.
 - 5. INDICATES LINE OF OVERHANG
 - 6. PRECAST CONCRETE PARKING BUMPER
 - 7. RECESSED WATER COOLER. SEE ELECTRICAL DRAWINGS
 - 8. REFER TO LANDSCAPE DRAWINGS FOR DETAILS
 - 9. STAINLESS STEEL GRAB BAR AS REQUIRED, TYP.
 - 10. STAINLESS STEEL TOLIET PAPER DISPENSER, TYP.
 - 11. TRUSSES ABOVE, N.I.C.
 - 12. VIEWPORT, N.I.C.
 - 13. WALL MOUNTED PAPER TOWEL DISPENSER

1 First Floor Plan
A1.01 1/4" = 1'-0"

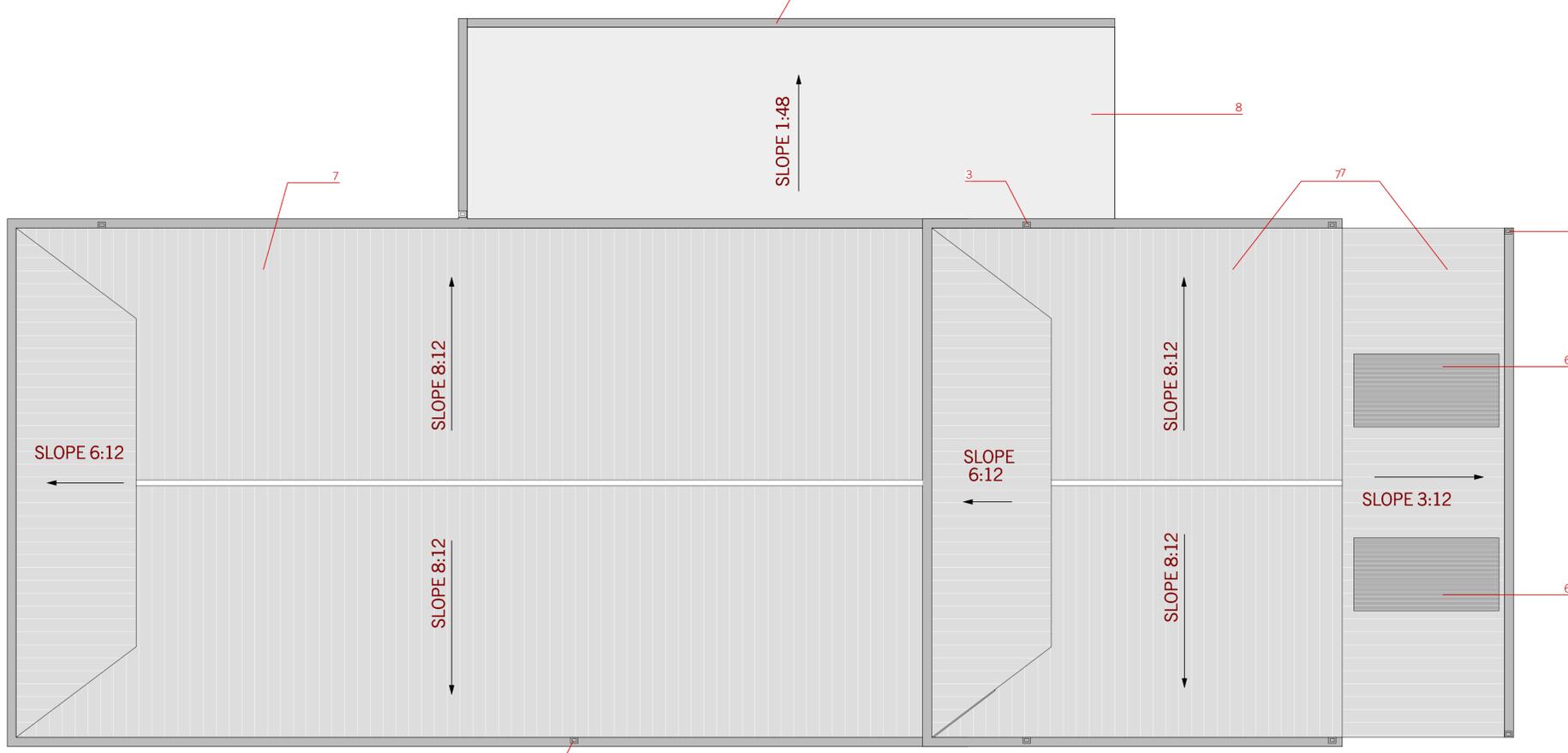




1 Second Floor Plan
1/4" = 1'-0"



2 Attic Floor Plan
1/4" = 1'-0"



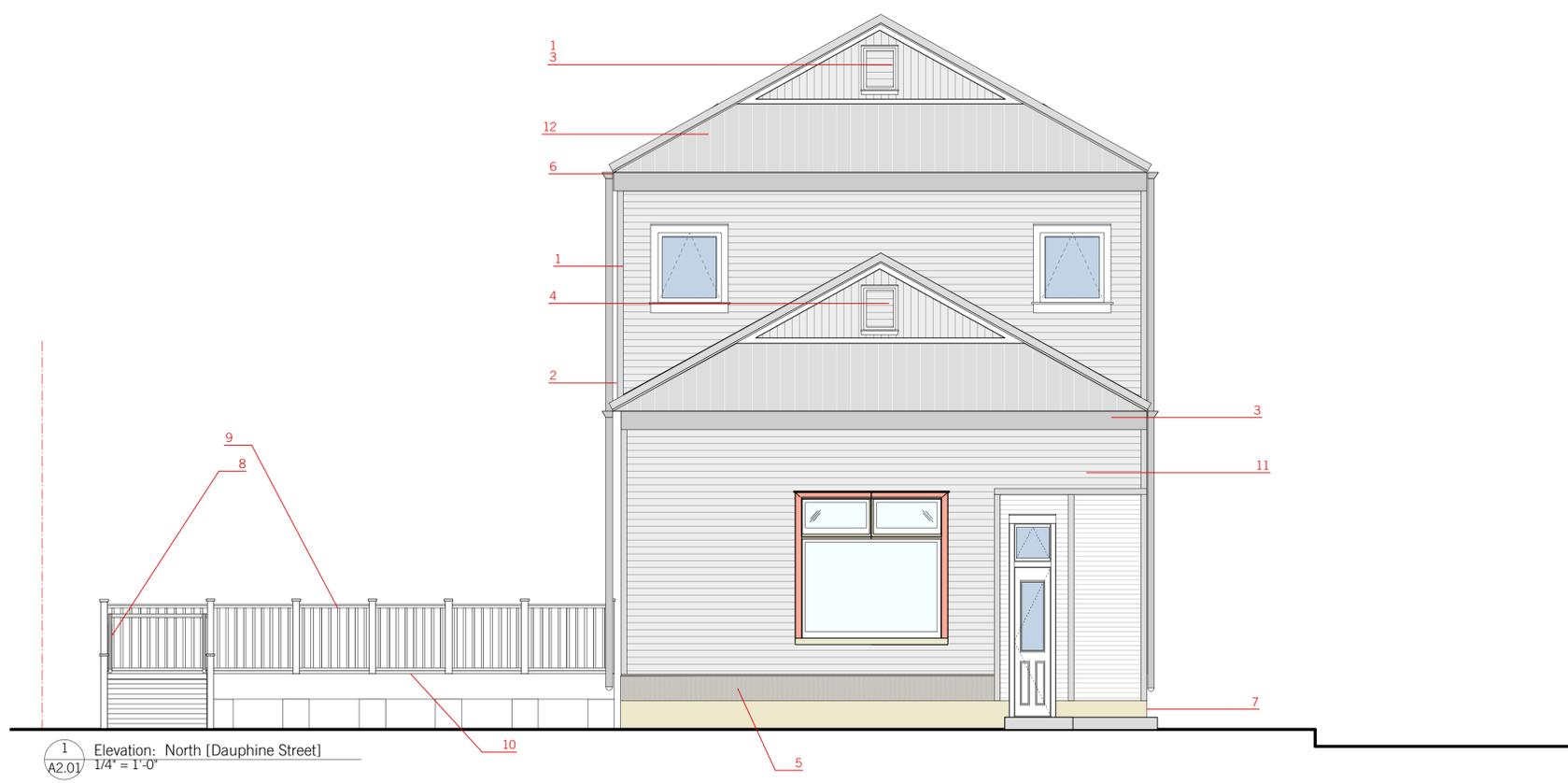
3 Roof Plan
1/4" = 1'-0"

- GENERAL NOTES**
- A. KEYNOTES ARE SHEET SPECIFIC. THEY ARE NOT APPLICABLE FROM SHEET TO SHEET.
 - B. INTERIOR WALL DIMENSIONS ARE FROM CL OF STUD TO CL OF STUD UNLESS OTHERWISE NOTED. ALL EXISTING DIMENSIONS TO BE VERIFIED IN FIELD. COORDINATE ANY DISCREPANCY W/ ARCHITECT
 - C. CONTRACTOR SHALL PROVIDE "NO-SMOKING" SIGNAGE ACCORDING TO LEED REQUIREMENTS. COORDINATE LOCATION AND DESIGN W/ ARCHITECT
 - D. CONTRACTOR SHALL PROVIDE SIGNAGE FOR OCCUPANT LOAD LIMITS. COORDINATE LOCATION AND DESIGN W/ ARCHITECT
 - E. MAINTAIN 2" PLUS THICKNESS OF THE TRIM AT ALL DOORS AND WINDOWS THAT ARE DIRECTLY ADJACENT TO A WALL OR CORNER.
 - F. ALL WINDOWS TO RECEIVE WINDOW TREATMENT. SEE SPECIFICATIONS
 - G. CONTRACTOR SHOULD CONFORM TO ALL LEED REQUIREMENTS AND STANDARDS, AS WELL AS REQUIREMENTS ESTABLISHED IN THE CONSTRUCTION DEMOLITION WASTE MANAGEMENT PLAN, EROSION AND SEDIMENTATION CONTROL PLAN, AND SURFACE WATER MANAGEMENT PLAN. EACH SUBMITTED TO THE ARCHITECT FOR APPROVAL PER THE SPECIFICATIONS
 - H. PROTECT ALL FINISHES AND IF DAMAGED, REPAIR TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER

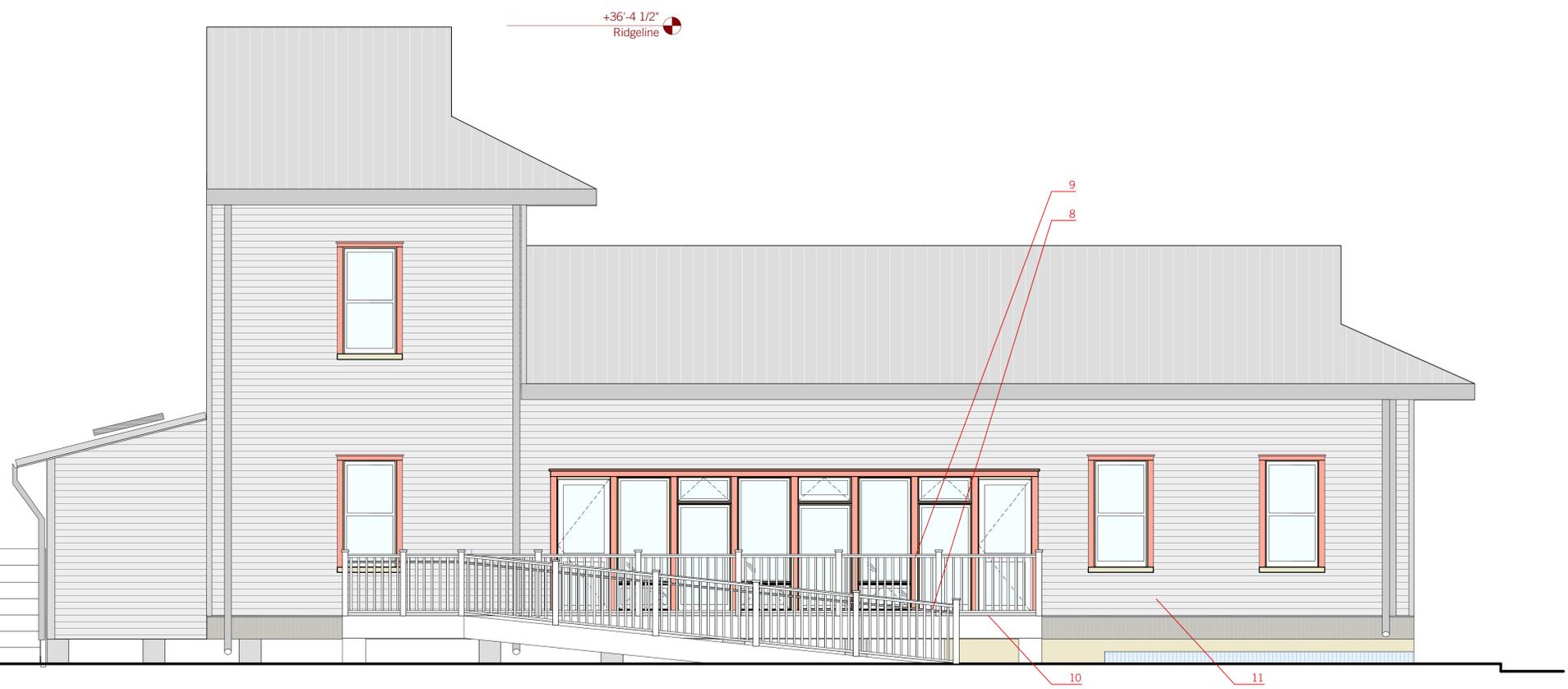
- KEYNOTES**
- 1. 24" X 24" ACCESS PANEL PER MECHANICAL, COORDINATE LOCATION W/ ARCHITECT, N.I.C.
 - 2. 6" HALF ROUND GUTTER, TYPICAL AT ALL SLOPING ROOFS, N.I.C.
 - 3. DOWNSPOUT TYP, N.I.C.
 - 4. FRAMING, FLOORING, AND GUARDRAIL OF LOFT N.I.C.
 - 5. LOFT LADDER, N.I.C.
 - 6. SOLAR HOT WATER HEATERS, SEE MEP DRAWINGS, N.I.C.
 - 7. STANDING SEAM METAL ROOF, N.I.C.
 - 8. TPO ROOFING MEMBRANE, SEE SPECIFICATIONS, N.I.C.
 - 9. UNDERSIDE OF LOFT STORAGE FLOORING EXPOSED
 - 10. N/A



A
B
C
D
E
F
G
H



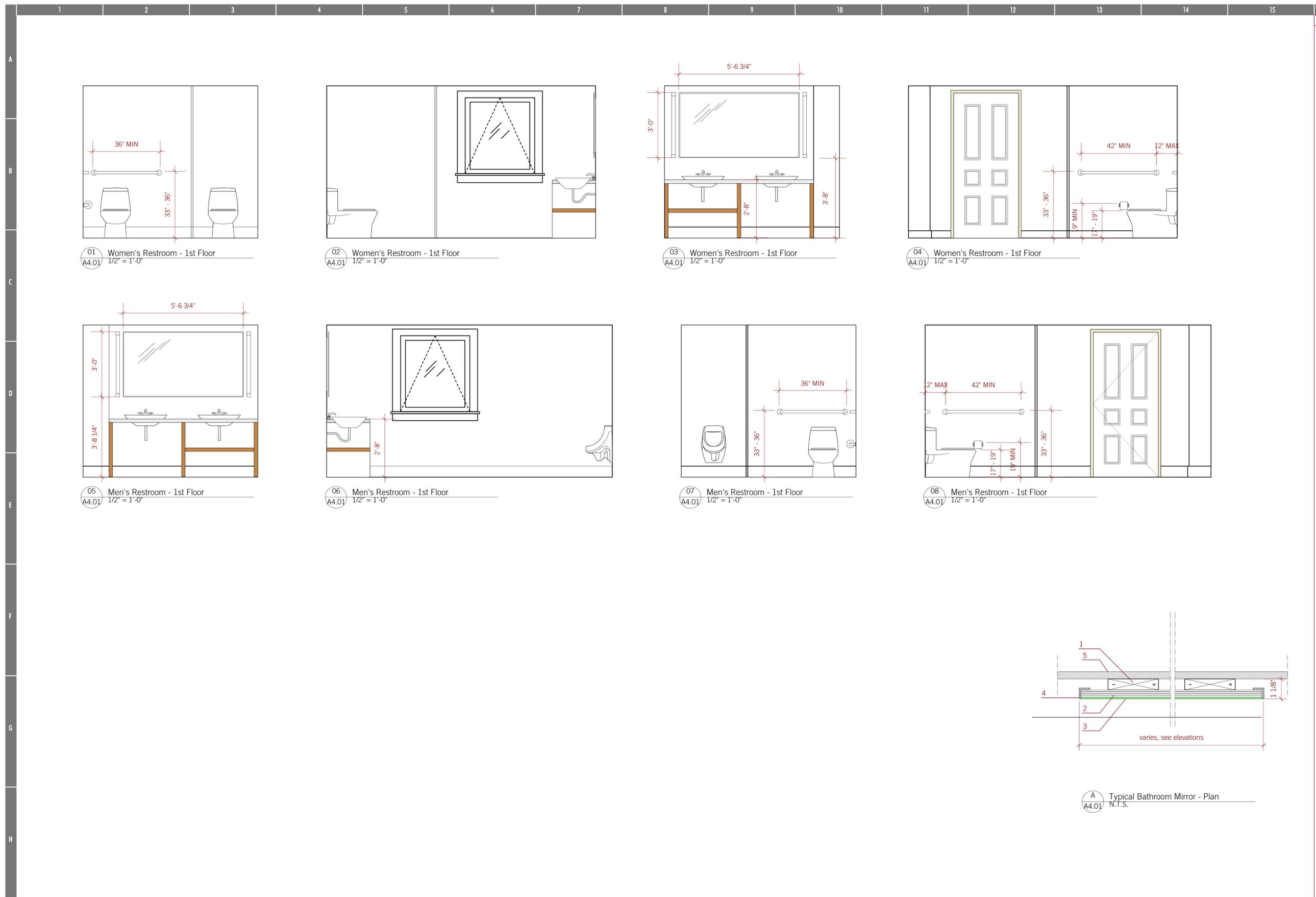
- KEYNOTES**
1. CORNER BOARDS, N.I.C.. PAINT BY CONTRACTOR, TYP.
 2. DOWNSPOUT, N.I.C.
 3. FASCIA OWNER PROVIDED, INSTALLED, AND PRIMED. PAINT BY CONTRACTOR, TYP.
 4. FAUX VENT W/ GLASS
 5. FIBER CEMENT WATER TABLE, PAINTED, TYP.
 6. GUTTER CONDUCTOR HEAD, N.I.C.
 7. SOLID CMU CHAINWALL W/ PARGE COAT, N.I.C.
 8. RAMP HANDRAIL TO CONFORM TO ALL CODES AND REGULATIONS SET BY AGENCIES HAVING JURISDICTION, INCLUDING HEIGHT, GRASPABILITY, SPACING FROM GUARDRAIL, AND EXTENSION
 9. INSTALL TREATED WOOD GUARDRAIL FROM HISTORIC DISTRICT LANDMARKS COMMISSION DETAIL. GUARDRAIL MUST MEET ALL APPLICABLE CODES AND REGULATIONS FROM ALL AGENCIES HAVING JURISDICTION
 10. TREATED WOOD PORCH DECKING, TYP.
 11. SOLID CEDAR WOOD SIDING
 12. STANDING SEAM METAL ROOFING, N.I.C.
 13. VENT, COORDINATE WITH MECHANICAL



Revisions:	Issue Purpose:	Date:

25 January 2011
 ELEVATIONS
A2.01
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01 Women's Restroom - 1st Floor
1/2" = 1'-0"

02 Women's Restroom - 1st Floor
1/2" = 1'-0"

03 Women's Restroom - 1st Floor
1/2" = 1'-0"

04 Women's Restroom - 1st Floor
1/2" = 1'-0"

05 Men's Restroom - 1st Floor
1/2" = 1'-0"

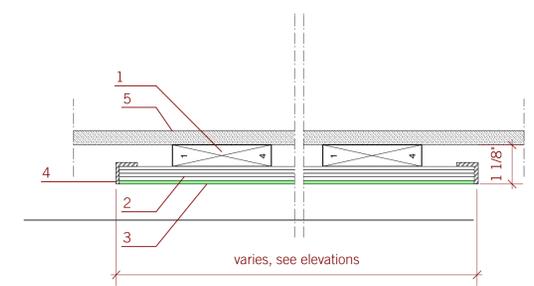
06 Men's Restroom - 1st Floor
1/2" = 1'-0"

07 Men's Restroom - 1st Floor
1/2" = 1'-0"

08 Men's Restroom - 1st Floor
1/2" = 1'-0"

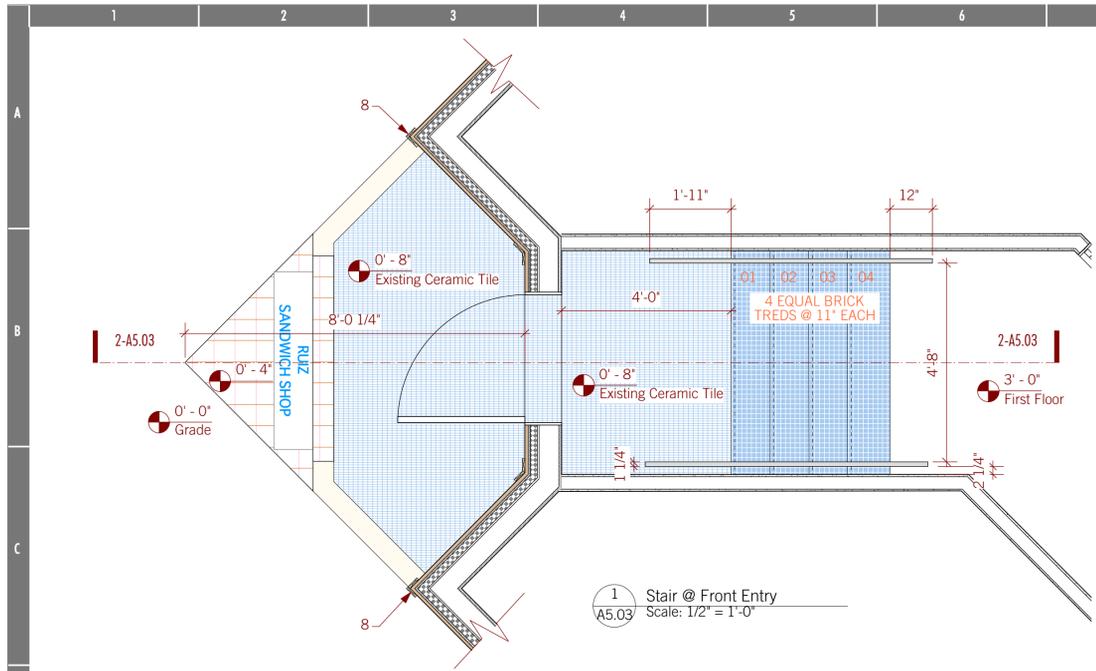
A Typical Bathroom Mirror - Plan
N.T.S.

- KEYNOTES**
- 1 X 4 WOOD BLOCKING
 - 1/2" PLYWOOD, EDGES SANDED FLUSH W/ MIRROR
 - 1/8" FLOAT GLASS MIRROR, MOUNTED TO PLYWOOD SUBSURFACE W/ MIRROR ADHESIVE AND DOUBLEFACED POLYURETHANE TAPE
 - 3/4" SQ. ALUMINUM ANGLE W/ SQUARE CORNERS - 4 SIDES
 - PLASTER WALL PER PARTITION SCHEDULE

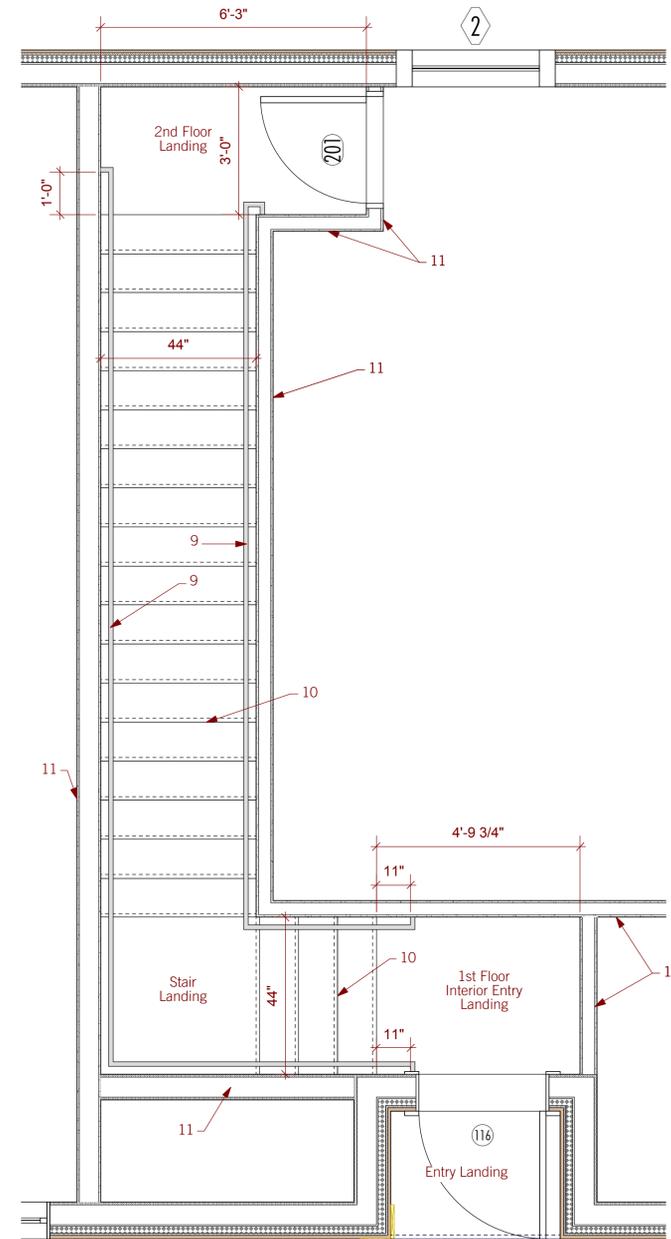


Revisions:	Issue Purpose:	Date:
	Permit Set	October 1, 2009

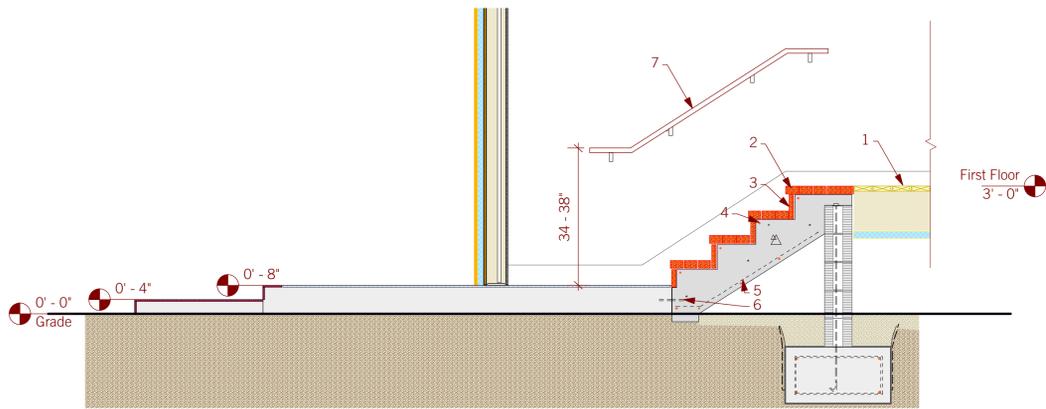
1 October 2009
 INT. ELEVATIONS
A4.01
 © 2009 studio WTA | wayne troyer architects



1 Stair @ Front Entry
Scale: 1/2" = 1'-0"



4 Plan- Stair to Second Floor Storage
Scale: 1/2" = 1'-0"



2 Section thru Stair @ Front Entry
Scale: 1/2" = 1'-0"

KEYNOTES

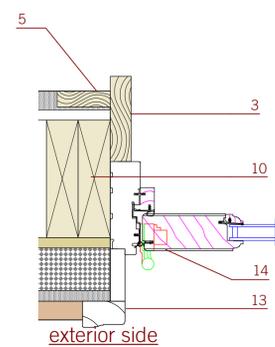
1. 2 x 6 RECYCLED TONGUE AND GROOVE FLOOR
2. RECYCLED FACE BRICK
3. CUT BRICK FOR RISER FACING
4. 4" REBAR NOSING BAR
5. #4 REBAR, 12" O.C. CONTINUOUS THROUGHOUT CONCRETE SUBSTRUCTURE, SEE STRUCTURAL
6. 1/4" STEEL SLIP DOWEL TO CONNECT STEP SUBSTRUCTURE TO EXISTING CERAMIC TILE, SEE STRUCTURAL
7. WOOD HANDRAIL
8. SEE 5/A5.02
9. TUBE METAL HANDRAIL TO MEET CODE REQUIREMENTS (1 1/4" DIAMETER, NO LOWER THAN 34" NOR HIGHER THAN 38" ABOVE THE LEADING EDGE OF THE TREAD SURFACE, MINIMUM CLEARANCE OF 2 1/4" BETWEEN THE HANDRAIL AND THE WALL IT IS ATTACHED TO)
10. WOOD STAIR RISERS AND TREADS, FINISHED AS SPECIFIED, MEET ALL GOVERNING CODES AND REGULATIONS
11. 1-HOUR FIRE RATED ENCLOSURE, INCLUDING DOOR ASSEMBLIES, AROUND ENTIRE STAIR, TYP. (INCLUDING BETWEEN STAIR AND ENCLOSED USEABLE SPACE UNDER STAIR ENCLOSURE - ELECTRICAL CLOSET 107 TO BE SEPARATED FROM STAIR BY SAME 1-HR FIRE RATING)



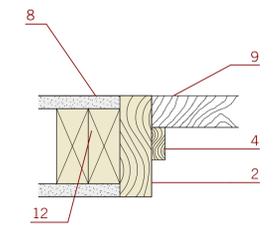
Revisions:	Issue Purpose:	Date:

No.	Size			Description	Leaf Type	Frame Type	Hardware	Threshold	Remarks
	Width	Height	Thick						
101	3'-0"	9'-0"	1 3/4"	45 Min. Rated, 2 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame w/ Translucent Light and Transom	1	A	Security Lockset, Double; Panic Hardware	None	Main Entry
102	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	3	C	Security Lockset, Single	None	Office
103	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	3	D	Security Lockset, Single	None	Office
104	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	5	D	Security Lockset, Single	None	Future Build-Out
105	4'-0"	8'-0"	1 3/4"	Paint Grade Wood Frame Cased Opening	N/A	C	None	None	Cased Opening
106	3'-0"	8'-0"	1 3/4"	Glass Door by Marvin, Impact Resistant + Low-E Glazing	6	B	Security Lockset, Double	Prefabricated Alum. Threshold	Exterior Side Entry
107	3'-0"	8'-0"	1 3/4"	Glass Door by Marvin, Impact Resistant + Low-E Glazing	6	B	Security Lockset, Double; Panic Hardware	Prefabricated Alum. Threshold	Exterior Side Entry
108	4'-0"	6'-8"	1 3/4"	Paint Grade Wood Frame Cased Opening	N/A	C	None	None	Cased Opening
109	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	4	C	None	None	Hallway Closet
110	3'-0"	6'-8"	1 3/4"	Paint Grade Wood Frame Cased Opening	N/A	C	None	None	Cased Opening
111	3'-0"	6'-8"	1 3/4"	Rated, 6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	4	C	Passage Lockset	None	Closet
112	4'-0"	6'-8"	1 3/4"	Paint Grade Wood Frame Cased Opening	N/A	C	None	None	Cased Opening
113	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	4	C	Passage Lockset	Marble Threshold	Women's Restroom
114	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	4	C	Passage Lockset	Marble Threshold	Men's Restroom
115	3'-0"	6'-8"	1 3/4"	6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	4	C	Security Lockset, Single	Prefabricated Alum. Threshold	Janitor's Closet
116	3'-0"	9'-0"	1 3/4"	45 Min. Rated, 2 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame w/ Translucent Light and Transom	1	A	Security Lockset, Double; Self-Closing Hardware	Prefabricated Alum. Threshold	Side Entry to 2nd Floor Storage
201	3'-0"	6'-8"	1 3/4"	1 HR. Rated, 6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	1 HR. RATED	1 HR. RATED	Self-Closing Hardware	Prefabricated Alum. Threshold	Storage
202	3'-0"	6'-8"	1 3/4"	1 HR. Rated, 6 Panel Solid Core Flush Paint Grade Wood Door in Wood Frame	1 HR. RATED	1 HR. RATED	Privacy Lockset	None	Storage

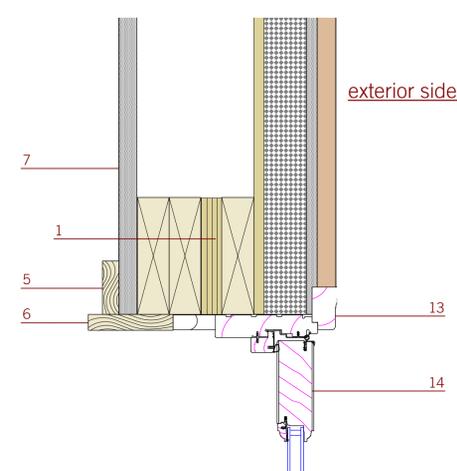
NOTE: INTERIOR SIGNAGE AT DOOR 106 MUST SAY "NOT AN EXIT" SINCE NO PANIC HARDWARE IS PROVIDED AT THIS DOOR. DOORS 101 AND 107 WILL BE PROVIDED WITH PANIC HARDWARE AND FULFILL REQUIREMENTS OF EGRESS [2 MEANS FOR ASSEMBLY OCCUPANCY]



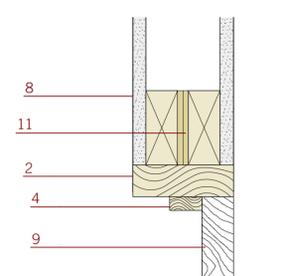
3 Exterior Door Jamb Detail
Scale: 3" = 1'-0"



5 Interior Door Jamb Detail
Scale: 3" = 1'-0"

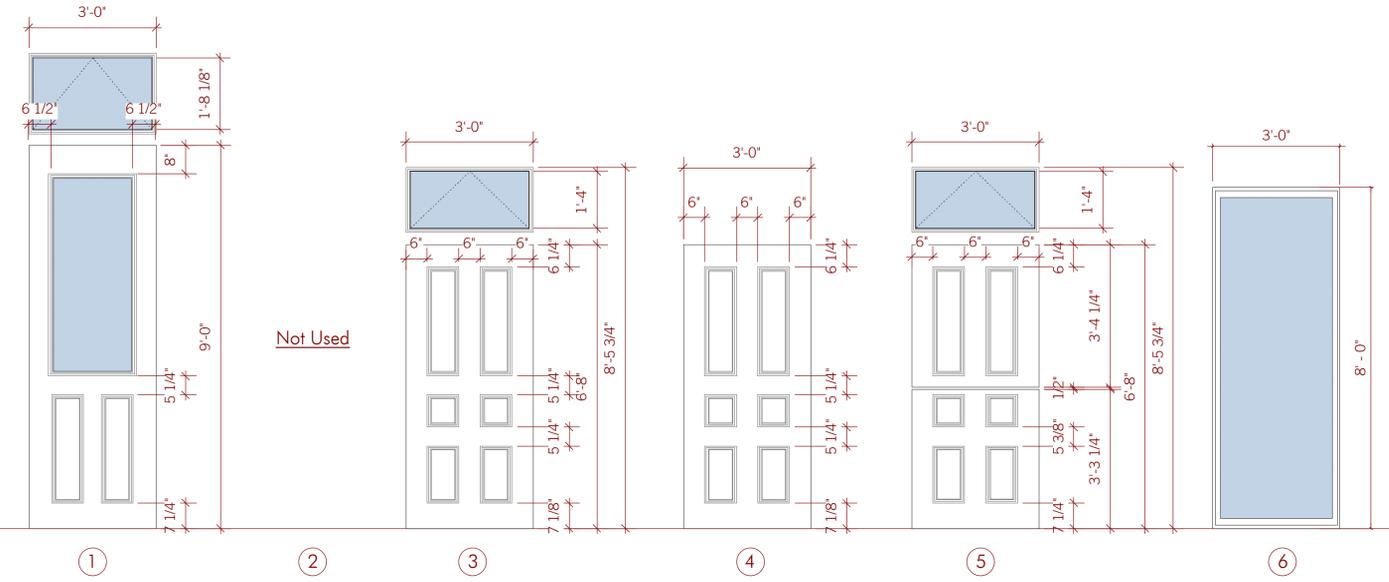


4 Exterior Door Head Detail
Scale: 3" = 1'-0"

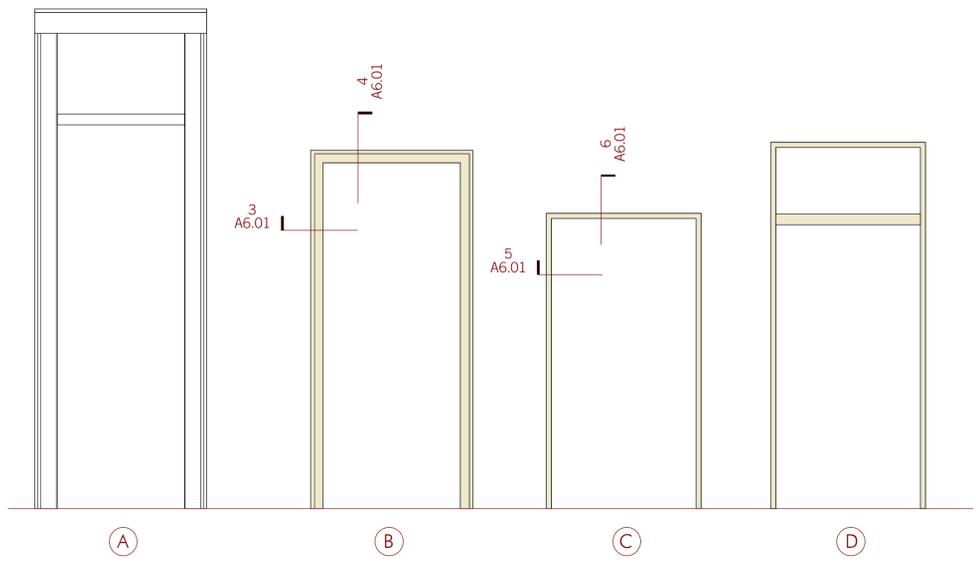


2 Interior Door Head Detail
Scale: 3" = 1'-0"

- KEYNOTES**
- (3) 2x6 header + 1 layer 1" plywood
 - 1 1/2" X 4 3/4" SOLID HARDWOOD TRIM, PAINTED
 - 1" X 4" SOLID HARDWOOD TRIM TO MATCH MARVIN DOOR FRAME, PAINTED
 - 3/4" X 1 1/2" WOOD STOP, PAINTED
 - 3/4" X 2 1/2" SOLID HARDWOOD TRIM TO MATCH MARVIN DOOR FRAME, PAINTED
 - 3/4" X 4" SOLID HARDWOOD TRIM TO MATCH MARVIN DOOR FRAME, PAINTED
 - 5/8" PLASTER
 - 5/8" PLASTER, BOTH SIDES
 - DOOR PER SCHEDULE
 - DOUBLE 2X6 WOOD STUD @ FRAME
 - DOUBLE HEADER (SIZE VARIES PER PARTITION TYPE) + 1 LAYER 1" PLYWOOD
 - DOUBLE WOOD STUD @ FRAME
 - EXTEROPR DOOR FRAME BY MARVIN, PAINTED
 - GLASS + WOOD DOOR BY MARVIN



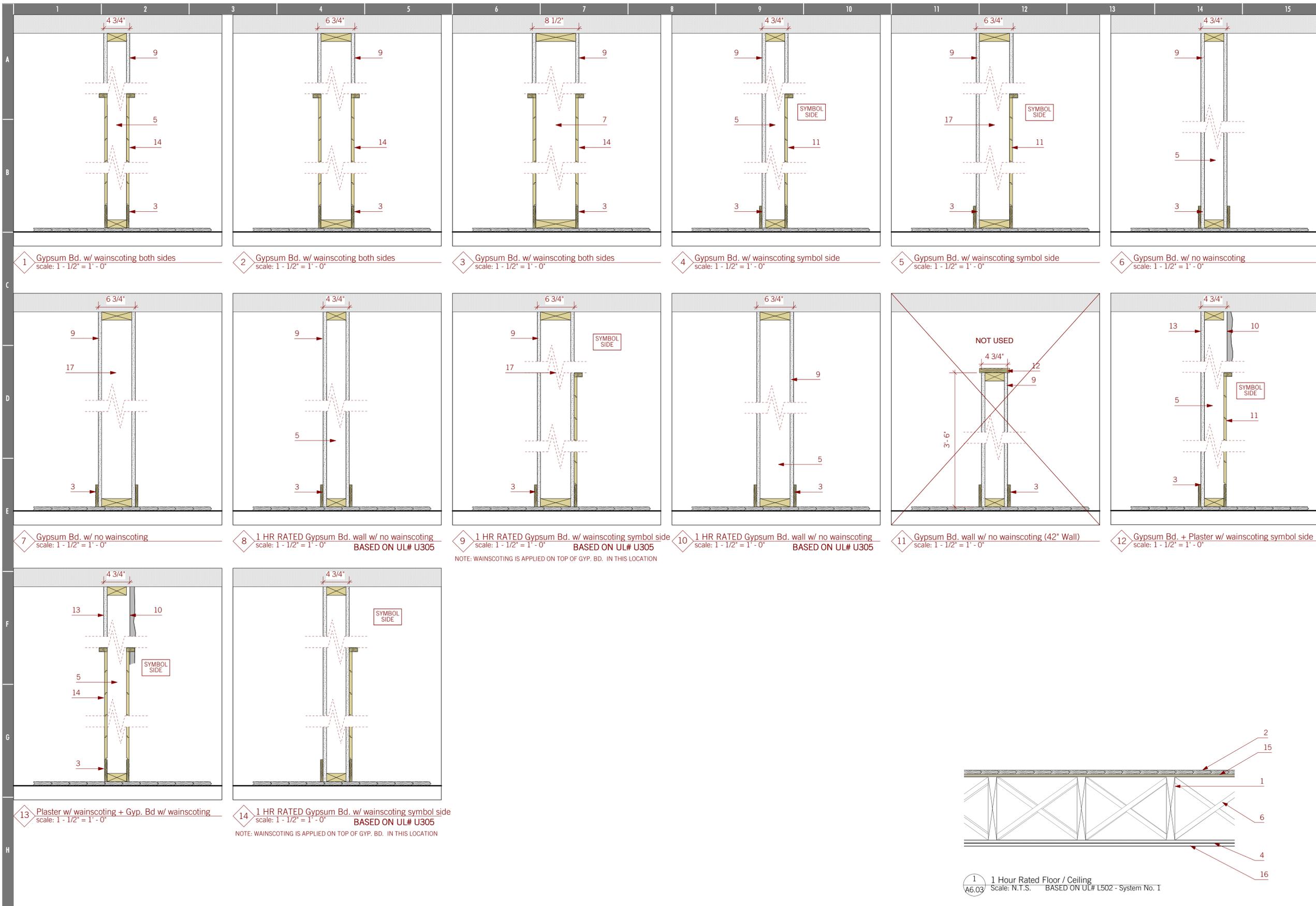
1 Door Leaf Elevations
Scale: 1/2" = 1'-0"



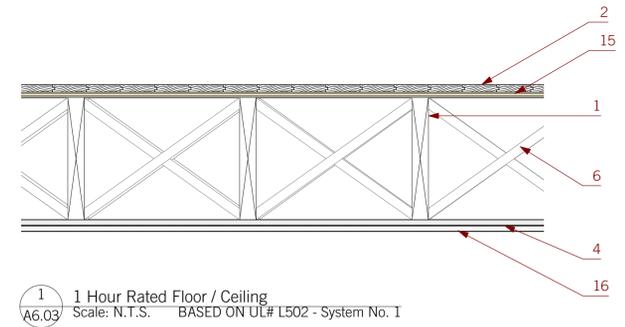
2 Door Frame Elevations
Scale: 1/2" = 1'-0"



Revisions:	Issue Purpose:	Date:
	Permit Set	October 1, 2009

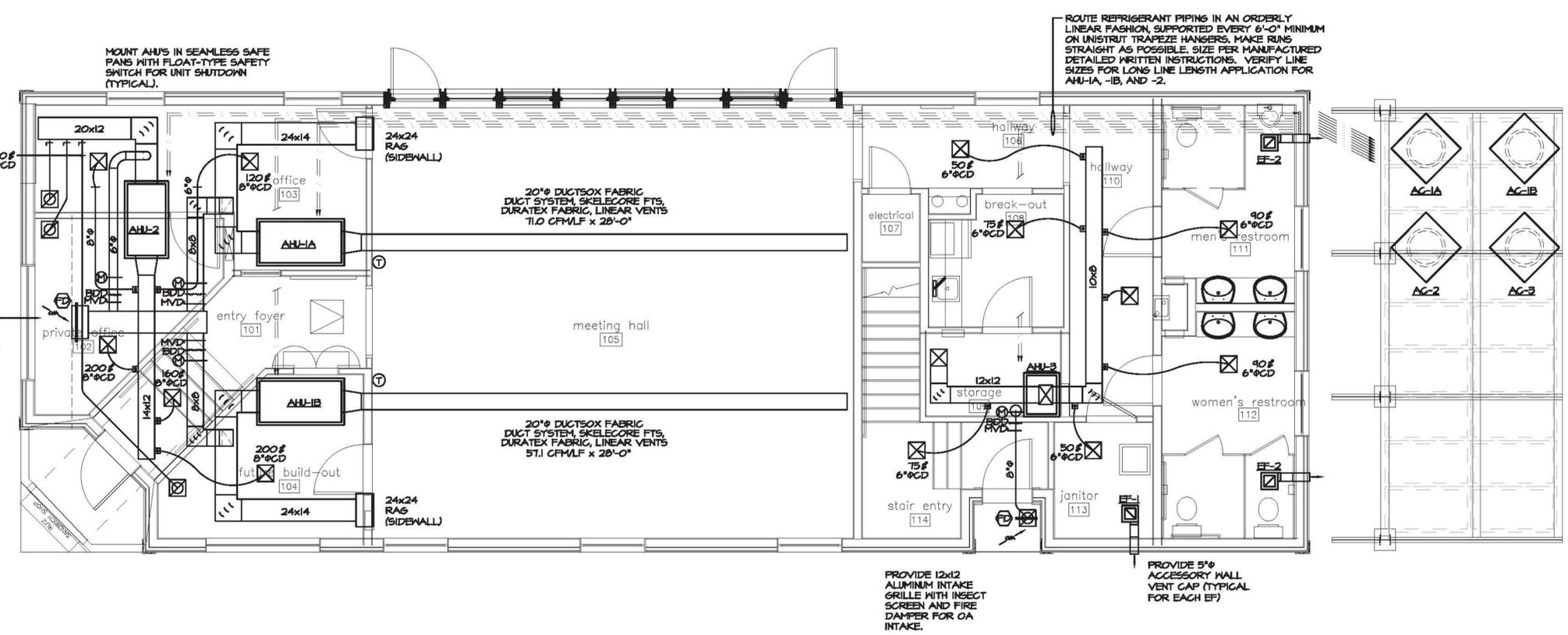


- KEYNOTES**
- 2 X 10 WOOD JOISTS, 16" O.C. AND EFFECTIVELY FIRE BLOCKED, N.I.C.
 - 1 X 4 T&G FINISH FLOOR, N.I.C. (FINISH TO BE SUPPLIED AND APPLIED BY CONTRACTOR)
 - BASE AS SCHEDULED, BOTH SIDES OWNER PROVIDED AND INSTALLED. PAINT BY CONTRACTOR, TYP.
 - RESILIENT CHANNELS, 24" O.C. PERPENDICULAR TO JOISTS, N.I.C.
 - 2 X 4 WOOD STUD, 16" O.C.
 - 1 X 3 CROSS BRIDGING, N.I.C.
 - 2 X 8 WOOD STUD, 16" O.C.
 - 1 X 6 PAINTED WOOD CAP
 - 5/8" GYP. BD., BOTH SIDES
 - 5/8" PLASTER W/ 3/8" IN. METAL LATH
 - WAINSCOTING AS SCHEDULED
 - 3/4" X 5-1/2" WOOD CAP
 - 5/8" GYP. BD., PRIMED AND PAINTED
 - WAINSCOTING BOTH SIDES AS SCHEDULED (FINISH TO BE SUPPLIED AND APPLIED BY CONTRACTOR)
 - 1 X 6 T&G SUBFLOOR, N.I.C.
 - 1/2" GYPSUM BOARD W/ FINISHING SYSTEM
 - 2 X 6 WOOD STUD, 16" O.C.

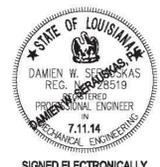


ALL GYPSUM BOARD CEILINGS ARE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY PLASTERWORK WITH THE EXCEPTION OF COORDINATION BETWEEN TRADES

Revisions:	Issue Purpose:	Date:



1 FIRST FLOOR HVAC PLAN
M1.01 1/4" = 1'-0"



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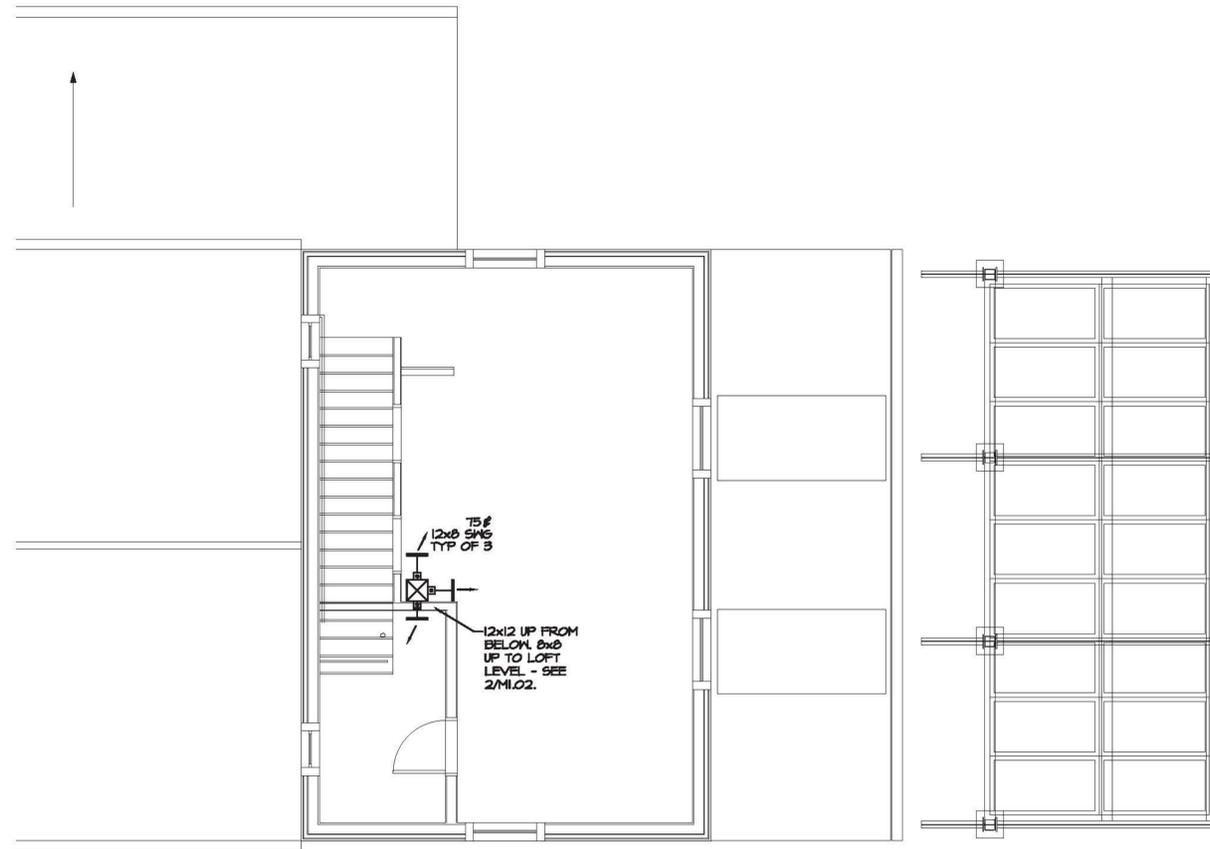


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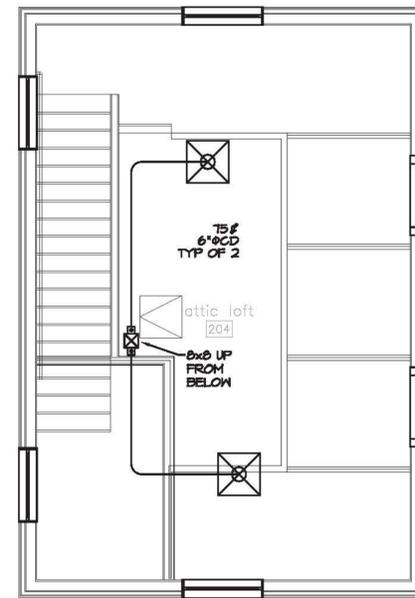
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Revisions:	Issue Purpose:	Date:

FIRST FLOOR HVAC PLANS
M-1.01



1 PARTIAL SECOND FLOOR HVAC PLAN
M1.02 1/4" = 1'-0"



2 SECOND FLOOR LOFT LEVEL HVAC PLAN
M1.02 1/4" = 1'-0"



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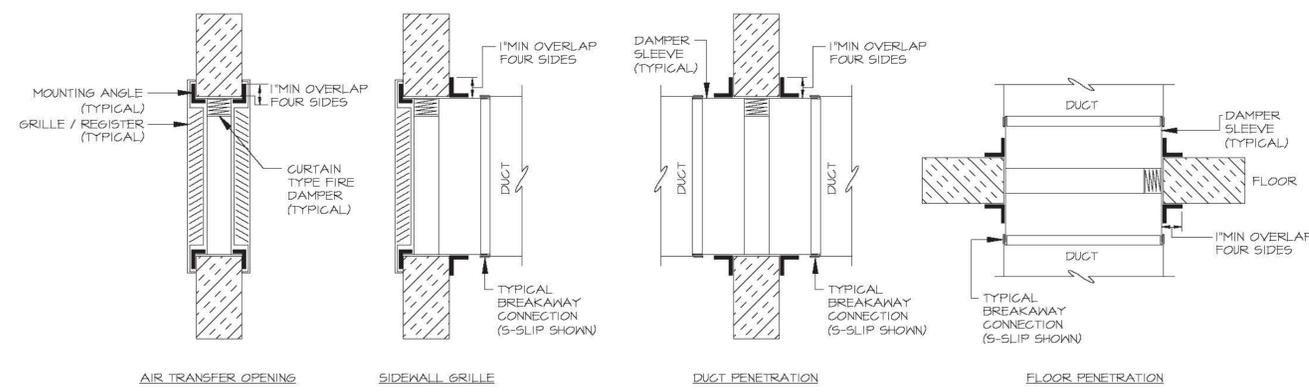


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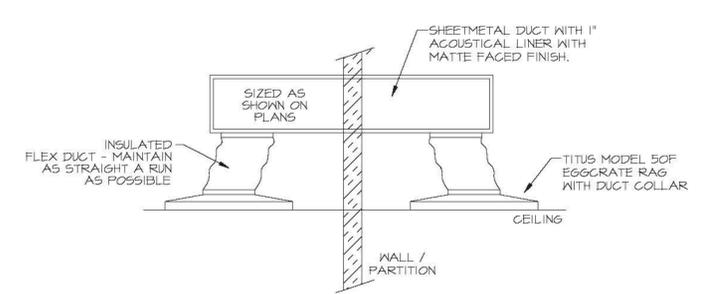
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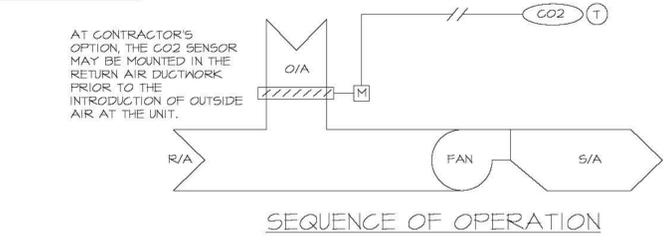
SECOND FLOOR HVAC PLANS
M-1.02



1 FIRE DAMPER INSTALLATION DETAIL
 SCALE: NONE



2 TRANSFER GRILL ASSEMBLY DETAIL
 SCALE: NONE

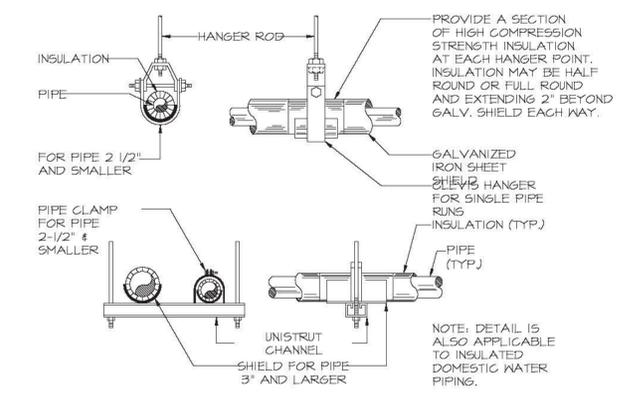


SEQUENCE OF OPERATION

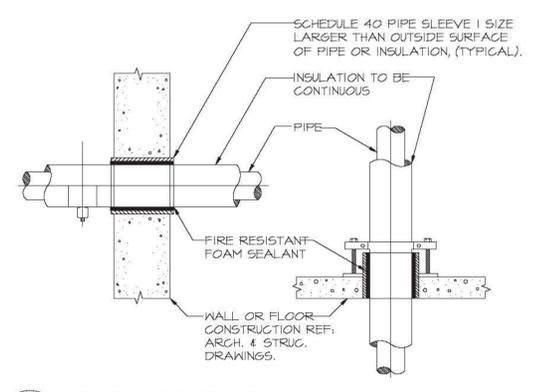
ZONE CO2 SENSOR SHALL MEASURE THE ROOM AIR CONCENTRATION OF CARBON DIOXIDE. IF THE LEVEL OF CO2 SENSED IS LESS THAN THE SET POINT (ADJUSTABLE, SET AT 850 PPM), THE OUTSIDE AIR DAMPER SHALL MODULATE TO THE CLOSED POSITION. IF THE CO2 CONCENTRATION IS ABOVE SETPOINT, THE OUTSIDE AIR DAMPER SHALL MODULATE TO THE OPEN POSITION. THE DAMPER SHALL MODULATE BETWEEN MIN AND MAX POSITIONS WHEN UNIT IS ON.

WHEN UNIT IS OFF, THE OUTSIDE AIR DAMPER SHALL CLOSE FULLY. UPON UNIT STARTUP, THE OUTSIDE AIR DAMPER SHALL OPEN TO A MINIMUM CFM SETPOINT OF 20% OF FULL (MAX) FLOW. ONCE OPERATING FOR A MINIMUM OF 10 MINUTES, THE DEMAND CONTROL VENTILATION SEQUENCE SHALL BEGIN.

3 O/A AND DCV CONTROL SEQUENCE - AHU-1A AND AHU-1B
 SCALE: NONE



4 PIPE HANGER AND SUPPORT DETAILS
 SCALE: NONE



5 PIPE SLEEVE DETAILS
 SCALE: NONE



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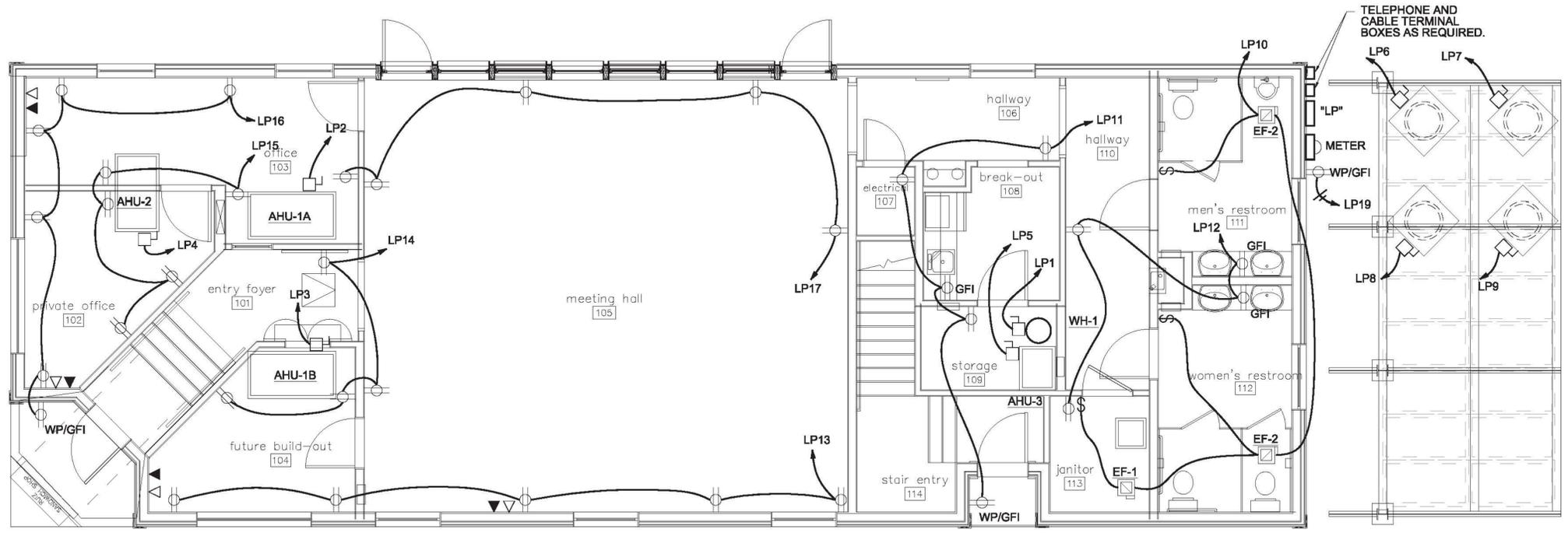


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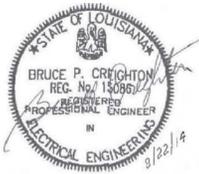
MECHANICAL DETAILS
M-2.00



1 FIRST FLOOR ELECTRICAL PLAN
E1.01 1/4" = 1'-0"



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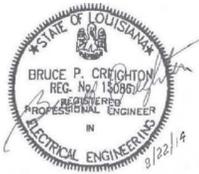
FIRST FLOOR ELECTRICAL PLANS
E-1.01



1 PARTIAL SECOND FLOOR ELECTRICAL PLAN
E1.02 / 1/4" = 1'-0"

2 SECOND FLOOR LOFT LEVEL ELECTRICAL PLAN
E1.02 / 1/4" = 1'-0"

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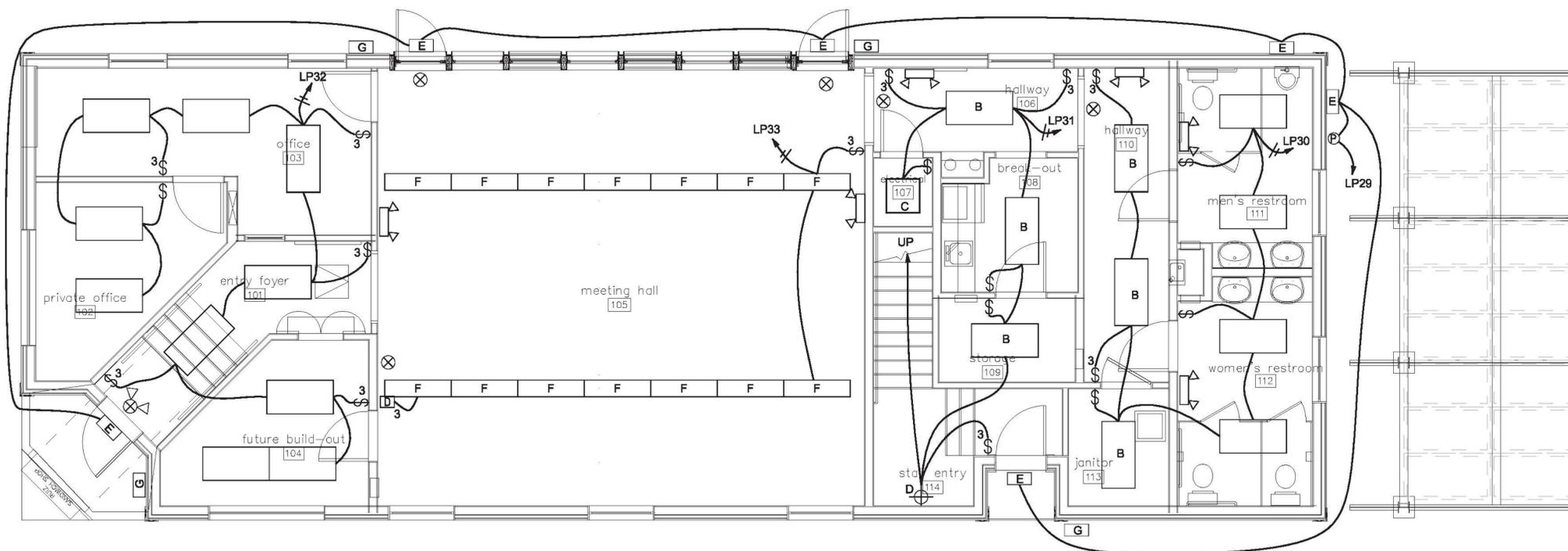


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SECOND FLOOR ELECTRICAL PLANS
E-1.02

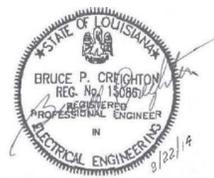


1 FIRST FLOOR ELECTRICAL PLAN
E2.01 1/4" = 1'-0"

NOTE:
 1. ALL FIXTURES ARE TYPE "A" UNLESS INDICATED OTHERWISE.
 2. CONNECT TYPE "G" FIXTURES TO EXTERIOR LIGHTS CIRCUIT AHEAD OF PHOTOCELL.



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FIRST FLOOR ELECTRICAL PLANS
E-2.01

ELECTRICAL SYMBOLS

	LIGHTING/POWER PANEL
	HOMERUN TO PANELBOARD / CROSS MARKS INDICATE NO. OF PHASE/ NEUTRAL CONDUCTORS MORE THAN ONE HOMERUN CIRCUIT MAY BE COMBINED IN A SINGLE CONDUIT. EACH HOMERUN CONDUIT SHALL HAVE A SEPARATE INSULATED GROUNDING CONDUCTOR.
	DUPLEX RECEPTACLE 120V SINGLE PHASE- (GFI INDICATES GROUND FAULT WP INDICATES WEATHERPROOF)
	SPECIAL PURPOSE RECEPTACLE 240V
	SINGLE POLE SWITCH ('3' INDICATES 3-WAY, '4' INDICATES 4-WAY, 'M' INDICATES MOTION DETECTOR (NOVITAS # 01-400)
	TELEPHONE OUTLET
	DATA TV OUTLET
	JUNCTION BOX
	SAFETY SWITCH (30A,3P,208V,NEMA1,UNLESS INDICATED OTHERWISE)
	FIRE ALARM PULL STATION
	FIRE ALARM HEAT DETECTOR
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM AUDIBLE AND STROBE LIGHT (MATCH EXISTING)
	FIRE ALARM STROBE LIGHT (MATCH EXISTING)
	HOOD CONNECTION TO FIRE ALARM SYSTEM
	FIRE ALARM WATER FLOW SWITCH
	FIRE ALARM TAMPER SWITCH
	FIRE ALARM PANEL
	FIRE ALARM DUCT DETECTOR
	FIRE ALARM RELAY
	PHOTOCELL
	EXHAUST FAN
	EMERGENCY EXIT LIGHT W/ BACKUP BATTERY TYPE "EX" FIXTURE. SURE LITES APX7.
	EMERGENCY LIGHTING W/ BACKUP BATTERY TYPE "EM" FIXTURE. SURE LITES TYPE APEL.
	COMBINATION EMERGENCY/EXIT LIGHTING W/ BACKUP BATTERY SURE LITES TYPE APC7R.

PANEL SCHEDULE

PANEL NAME: "LP"
 SERVICE: 120/240 Volt, 1 Phase, 3 Wire
 MAINS: 400 Amp, M.C.B. (Main Circuit Breaker). 42,000 A.I.C. or co ordinate A.I.C. rating with Utility.
 BRANCHES: Series rated.
 NOTES: Siemens Model P2. Nema 3R, Surface Mounted. (20"W x 50"H x 5-3/4"D)
 Co ordinate exact AHU-1 and AC-1 trip rating, wire , and conduit with HVAC units supplied and revise if necessary.

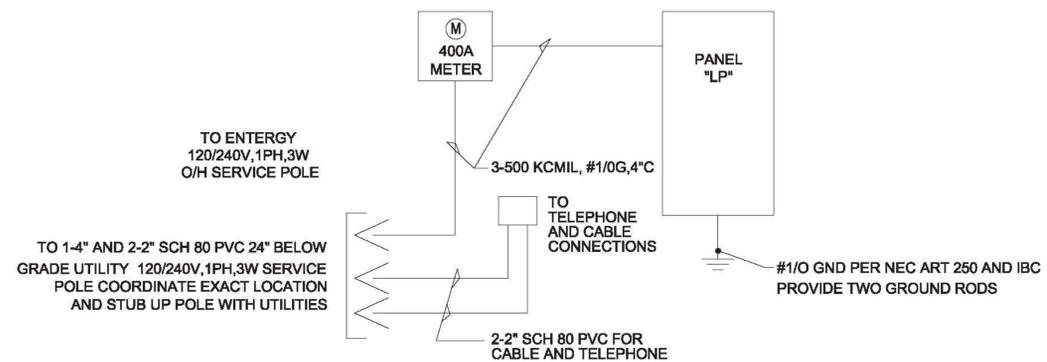
CIRCUIT	POLE	TRIP	WIRE	COND	REMARKS	KW
1	2	30	2#10, #10G	2"	WH - 1 (water heater)	4.5
2	2	90	2#2, #8G	1"	AHU - 1a (indoor)	15.4
3	2	80	2#3, #8G	1"	AHU - 1b (indoor)	12.5
4	2	70	2#4, #8G	1"	AHU - 2 (indoor)	6.8
5	2	40	2#8, #10G	3/4"	AHU - 3 (indoor)	8.2
6	2	50	2#6, #10G	3/4"	AC - 1a (outdoor)	8.5
7	2	50	2#6, #10G	3/4"	AC - 1b (outdoor)	7.0
8	2	20	2#12, #12G	3/4"	AC - 2 (outdoor)	3.3
9	2	40	2#8, #10G	3/4"	AC - 3 (outdoor)	5.0
10	1	20	2#12, #12G	3/4"	EF - 1, EF - 2, EF - 3 (exhaust fans)	1.0
11 - 18	1	20	2#12, #12G	3/4"	Receptacles	6.3
19 - 28	1	20			Spares	
29 - 35	1	20	2#12, #12G	3/4"	Lighting	10.0
36 -	1	20			Spares	
Total Connected Load						88.5
Total Load (less A/C)						64.7

LIGHTING SCHEDULE

LABEL	TYPE	MFG	PART
A	2X4	METALUX	24EN-LD1-34-UNV-L835-CD1-DF-24W-U
B	SURFACE	METALUX	4WNLED-LD1-41-F-UNV-L835-CD1-U
C	2X2	METALUX	2GR-LD1-32-A-UNV-L835-CD1-U
D	STAIR	METALUX	SNLED-LD1-30-LN-UNV-EL-L835-CD1-U/W BATTERY
E	EXTERIOR	LUMARK	XTOR3A
F	MEETING	CORELITE LIGHTING	RZL-WB-2L35-ID-UNV-AC48-XX-8"
G	EXTERIOR/EMERGENCY	COOPER	12UEL1

ELECTRICAL NOTES

- 1) INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL CODE, THE INTERNATIONAL BUILDING CODE, AND CONFORM TO ALL STATE AND LOCAL REQUIREMENTS.
- 2) ALL WIRING SHALL BE RUN IN EMT METAL RACEWAY. TYPE MC OR AC CABLE MAY BE USED WHERE ALLOWED BY THE N.E.C. AND AUTHORITY HAVING JURISDICTION.
- 3) HOME RUN ROUTING IS SCHEMATICAL. CONTRACTOR TO DETERMINE THE BEST POSSIBLE ROUTING WITH THE NECESSARY SUPPORT ACCORDING TO N.E.C.
- 4) ALL WIRING SHALL BE THWN COPPER. MINIMUM SIZE SHALL BE #12 AWG.
- 5) ALL CONDUIT AND EQUIPMENT SHALL BE GROUNDED PER N.E.C. ARTICLE 250.
- 6) ALL ELECTRICAL MATERIAL SHALL BE "UL" LISTED AND LABELED FOR ITS INTENDED APPLICATION.
- 7) ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR BALANCING THE LOAD ON PANELS AND PROVIDING A TYPED PANEL DIRECTORY.
- 8) VERIFY EXACT TYPE OF EQUIPMENT CONNECTION, VOLTAGE, CURRENT, AND PHASE REQUIREMENTS FOR ALL EQUIPMENT INSTALLED BEFORE OR INSTALLING EQUIPMENT. REVISE CIRCUIT SIZE, VOLTAGE, PHASE, AND TERMINATION IF NECESSARY.
- 9) COORDINATE INSTALLATION WITH CEILING PLAN AND HVAC CONTRACTOR.
- 10) PROVIDE CONDUITS, JUNCTION BOX, GROUNDING, BACKBOARDS, AS REQUIRED. PROVIDE 3/4" CONDUITS FROM TELEPHONE/DATA JACKS STUBBED UP ABOVE CEILING.
- 11) CONNECT EMERGENCY AND EXIT LIGHTING BATTERY PACKS TO SAME BRANCH CIRCUIT SERVING THE NORMAL LIGHTING IN THE AREA AND AHEAD OF ANY LOCAL SWITCHES.
- 12) SWITCHES SHALL BE 20A, 120 V, COMMERCIAL GRADE, IVORY WITH STAINLESS STEEL COVER PLATES, MOUNTED 48" AFF.
- 13) GENERAL PURPOSE RECEPTACLES SHALL BE 15A, 125V, 5-15R, COMMERCIAL GRADE, IVORY, DUPLEX, WITH STAINLESS STEEL COVER PLATES, MOUNTED 18" AFF UNLESS INDICATED OTHERWISE. PROVIDE GFCI RECEPTACLES AT ALL LOCATIONS REQUIRED BY THE N.E.C. AND WITHIN SIX FEET OF ALL SINKS.



ONE LINE DIAGRAM
NTS



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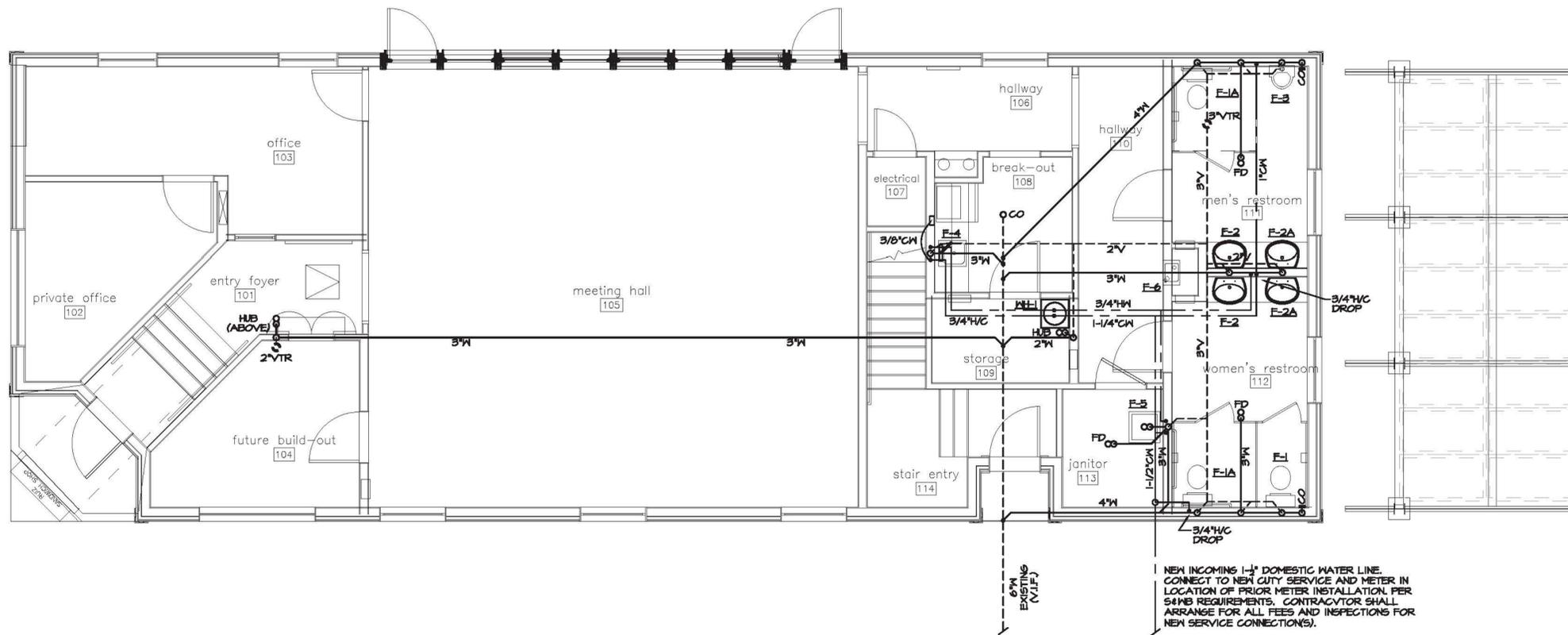


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ELECTRICAL MISC.
E-3.00



1 FIRST FLOOR PLUMBING PLAN
 P1.01 1/4" = 1'-0"

NEW INCOMING 1-1/2" DOMESTIC WATER LINE. CONNECT TO NEW CITY SERVICE AND METER IN LOCATION OF PRIOR METER INSTALLATION. PER S&MB REQUIREMENTS, CONTRACTOR SHALL ARRANGE FOR ALL FEES AND INSPECTIONS FOR NEW SERVICE CONNECTION(S).



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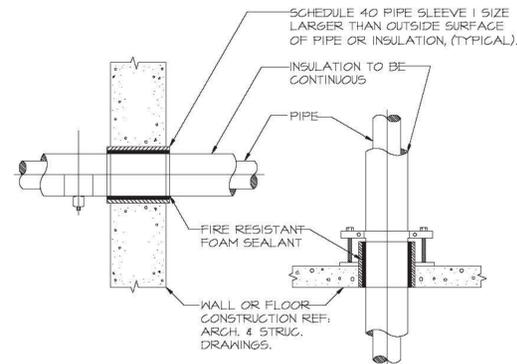
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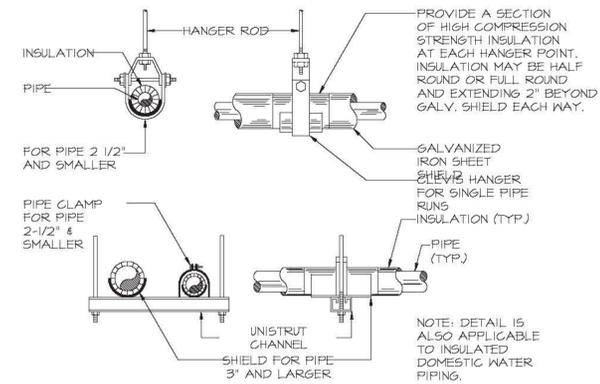
FIRST FLOOR PLUMBING PLAN
P-1.01

PLUMBING FIXTURE SCHEDULE					
TAG	DESCRIPTION	ROUGH-IN			MODEL
		WASTE	CW	HW	
F-1	WATER CLOSET, WHITE VIT CHINA, PRESS ASSIST, KOHLER OR EQUAL.	3"	1"	--	KOHLER WELLWORTH K-3505 W/ OPEN-FRT SEAT LESS CVR
F-1A	ADA WATER CLOSET, WHITE VIT CHINA, PRESS ASSIST, ADA HEIGHT	3"	1"	--	KOHLER HIGHLINE K-3443 W/ OPEN-FRT SEAT LESS CVR ADA HEIGHT
F-2	WALL-HUNG WHITE VIT CHINA LAV, 20X18, 4" CENTERSET FAUCET W/ FIXED SPOUT	1 1/2"	1/2"	1/2"	KOHLER KINGSTON K-2005 WITH K-15582 COROLAIS FAUCET W/ SINGLE LEVER HANDLE - STD HEIGHT
F-2A	SAME AS F-2 WITH LAV-GUARD SYSTEM, OPEN GRID STRAINER, OFFSET TAILPIECE, ADA/AFAG HEIGHT	1 1/2"	1/2"	1/2"	SAME AS F-2 WITH 4" CENTERSET FAUCET WITH LEVER HANDLE AND INSULATION SYSTEM AT ADA HEIGHT
F-3A	ADA FLUSH-VALVE URINAL	2"	3/4"	--	KOHLER BARDON K-4415 ELONGATED URINAL, SLOAN 1/2 GPF F.V., MTD. AT ADA HEIGHT
F-4	STAINLESS STEEL SINGLE-COMP SINK WITH GOOSENECK SPOUT FAUCET WITH WRISTBLADES	3"	3/4"	3/4"	ELKAY LR25222 WITH K-1305-5A GOOSENECK SPOUT AND WRISTBLADE HANDLES, PROVIDE CRUMB CUP STRAINER.
F-5	MOLDED STONE FLOOR-MOUNTED MOP BASIN WITH SERVICE FAUCET, MOP HANGER, HOSE, BUMPER GUARD	3"	3/4"	3/4"	FIAT M9B2424 MOLDED STONE MOP BASIN WITH 830-AA SVC. FAUCET AND 30" HOSE WITH MOP HANGER, VINYL BUMPER GUARD
F-6	TWO-LEVEL WALL MOUNT WATER COOLER	2"	1/2"	--	ELKAY MODEL EZ5TL8C ADA BI-LEVEL WATER COOLER

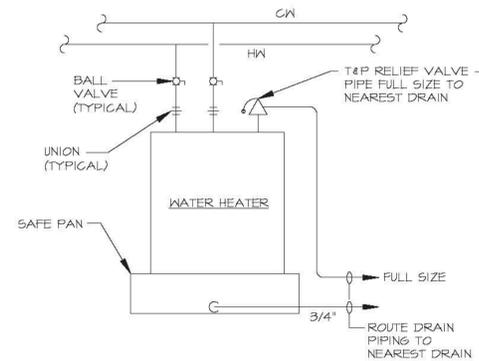
INSULATE ALL WASTE AND SUPPLY PIPING FOR ADA-COMPLIANT FIXTURES, OR PROVIDE TRUE-BRO LAV-GUARD(TM) SYSTEM.



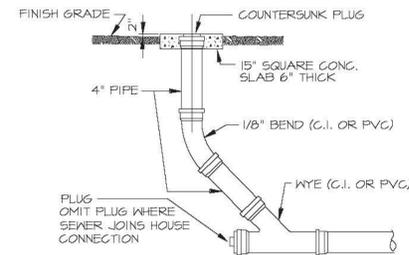
1
P200 PIPE SLEEVE DETAILS
SCALE: NONE



2
P200 PIPE HANGER AND SUPPORT DETAILS
SCALE: NONE



3
P200 WATER HEATER INSTALLATION DIAGRAM
SCALE: NONE



4
P200 CLEANOUT TO GRADE DETAIL
SCALE: NONE



THESE DRAWINGS WERE DEVELOPED BY ME OR UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE APPEAR TO COMPLY WITH ALL REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION. I AM /AM NOT GENERALLY ADMINISTERING THE WORK.

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Revisions:	Issue Purpose:	Date:

PLUMBING SCHEDULES AND DETAILS
P-2.00